

DA 000

DA 203

DA 204

COVER SHEET

ELEVATION - WEST ELEVATION - NORTH

ELEVATION - EAST

DA 001	PROJECT SUMMARY	DA 302	SECTION 02 - DRIVEWAY SECTION
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DA 003	SITE ANALYSIS PLAN	DA 401-402	MATERIAL SCHEDULE
DA 004	STREET CONTEXT PLAN		
		DA 411-413	PHOTOMONTAGE
DA 010	SITE PLAN		
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DA 101	BASEMENT 2 PLAN	DA 510	DEEP SOIL DIAGRAM
DA 102	BASEMENT 1 PLAN	DA 520	COMMUNAL OPEN SPACE DIAGRAM
DA 103	LEVEL 1 PLAN (GROUND FLOOR)	DA 531-532	NATURAL VENTILATION DIAGRAM
DA 104	LEVEL 2 PLAN	DA 541-542	APARMENT MIX DIAGRAM
DA 105	LEVEL 3 PLAN	DA 551-553	PRIVATE OPEN SPACE DIAGRAM
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DA 107	LEVEL 5 PLAN		
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DA 111	LEVEL 9 PLAN		
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DA 113	LEVEL 12 PLAN	DA 802	ADAPTABLE & LIVABLE LAYOUT - TYPE B
DA 114	ROOF PLAN	DA 803	LIVABLE LAYOUT - TYPE C, D & E
DA 201	ELEVATION - SOUTH		
DA 202	ELEVATION - WEST		

DA 301

SECTION 01

AREA SCHEDULE

1

Level	Unit No.	Туре	Unit Area (m2)	Terrace/ Balcony (m2)	Unit Storage (m3)	Basement Storage (m3)	Total Storage (m3)	Adaptable Unit	Livable Unit
Level 1	101	1 bed	55	8	4	4	8	√	√
	102	1 bed	56	8	4	4	8	✓	√
	103	2 bed	84	9+8	5	5	10		√
	104 105	2 bed 2 bed	75 75	28 23	4	4	8		
	106	2 bed	75	29	4	4	8		
	107	2 bed	75	18	4	4	8		
	108	2 bed	75	18	4	4	8		
	109	2 bed	79	13	4	4	8		√
	110	1 bed 2 bed	54 81	18 28	6	0 4	6 8		
Level 2	201	1 bed	55	10	4	4	8	√	√
Level 2	202	1 bed	56	11	4	4	8	√ /	√
	203	2 bed	80	12+8	5	5	10		√
	204	2 bed	75	28	4	4	8		
	205	2 bed	75	15	4	4	8		
	206	2 bed	75	31	4	4	8		
	207 208	2 bed 2 bed	75 75	10+4 10+4	4	4	8		
	209	2 bed 2 bed	78	12	4	4	8		✓
	210	1 bed	51	9	6	0	6		
	211	2 bed	81	22	4	4	8		
Level 3	301	1 bed	55	10	4	4	8	✓	√
	302	1 bed	56	11	4	4	8	√	√
	303	2 bed	80	12+8	5	5	10		✓
	304	2 bed 2 bed	75 75	28	4	4	8		
	305 306	2 bed 2 bed	75 75	20 31	4	4	8		
	307	2 bed	75	10+4	4	4	8		
	308	2 bed	75	10+4	4	4	8		
	309	2 bed	78	12	4	4	8		√
	310	1 bed	51	9	6	0	6		
	311	2 bed	81	22	4	4	8		,
Level 4	401	1 bed	55 56	10	4	4	8	√ ✓	-/
	402 403	1 bed 2 bed	56 80	11 12+8	4 5	4 5	8 10	٧	√ √
	404	2 bed 2 bed	75	28	4	4	8		v
	405	2 bed	75	23	4	4	8		
	406	2 bed	75	31	4	4	8		
	407	2 bed	75	10+4	4	4	8		
	408	2 bed	75	10+4	4	4	8		
	409 410	2 bed 1 bed	78 51	12 9	6	4 0	8		√
	410	2 bed	81	22	4	4	8		
Level 5	501	1 bed	54	10	6	6	12	√	√
	502	2 bed	75	12	4	4	8	,	
	503	2 bed	79	28	4	4	8		
	504	2 bed	75	23	4	4	8		
	505	2 bed	77	31	4	4	8		
	506 507	2 bed 3 bed	75 104	10 20	6	0	8		
	508	3 bed	95	18	5	5	10		
Level 6	601	1 bed	54	10	6	6	12	/	√
	602	2 bed	75	12	4	4	8		
	603	2 bed	79	28	4	4	8		
	604	2 bed	75	23	4	4	8		
	605 606	2 bed	77	31	4	4	8		
	607	2 bed 3 bed	75 104	10 20	6	0	8		
	608	3 bed	95	18	5	5	10		
Level 7	701	1 bed	54	10	6	6	12		√
	702	2 bed	75	12	4	4	8		
	703	2 bed	79	25	4	4	8		
	704	2 bed	75	23	4	4	8		
	705 706	2 bed 2 bed	77 75	31 10	4	4	8	_	
	706 707	2 bed 3 bed	104	20	6	0	6		
	708	3 bed	95	18	5	5	10		
Level 8	801	1 bed	54	10	6	6	12		✓
	802	2 bed	75	12	4	4	8		
	803	2 bed	79	22	4	4	8		
	804	2 bed	75 77	23	4	4	8		
	805 806	2 bed 2 bed	77 75	31 10	4	4	8		
	807	3 bed	104	20	6	0	6		
					5	5	10		
	808	3 bed	95	18		,	10		
Level 9			95 78	18 25	4	4	8		
Level 9	808 901 902	3 bed 2 bed 2 bed	78 75	25 11	4 7	4 7	8 14		
Level 9	901 902 903	3 bed 2 bed 2 bed 2 bed 2 bed	78 75 76	25 11 14	4 7 6	4 7 6	8 14 12		
Level 9	901 902 903 904	3 bed 2 bed 2 bed 2 bed 2 bed 2 bed	78 75 76 76	25 11 14 31	4 7 6 4	4 7 6 4	8 14 12 8		
Level 9	901 902 903 904 905	3 bed 2 bed 2 bed 2 bed 2 bed 2 bed 2 bed	78 75 76 76 75	25 11 14 31 10	4 7 6 4	4 7 6 4	8 14 12 8 8		
	808 901 902 903 904 905 906	3 bed 2 bed 2 bed 2 bed 2 bed 2 bed 2 bed 3 bed	78 75 76 76 75 115	25 11 14 31 10 76	4 7 6 4 4	4 7 6 4 4 0	8 14 12 8 8 8		
Level 9	901 902 903 904 905	3 bed 2 bed 2 bed 2 bed 2 bed 2 bed 2 bed	78 75 76 76 75	25 11 14 31 10	4 7 6 4	4 7 6 4	8 14 12 8 8		
	808 901 902 903 904 905 906 1001	3 bed 2 bed 2 bed 2 bed 2 bed 2 bed 2 bed 3 bed 2 bed 2 bed	78 75 76 76 75 115	25 11 14 31 10 76 25	4 7 6 4 4 12	4 7 6 4 4 0	8 14 12 8 8 12 8		
	901 902 903 904 905 906 1001	3 bed 2 bed 2 bed 2 bed 2 bed 2 bed 3 bed 2 bed 2 bed 2 bed 2 bed 3 bed 2 bed	78 75 76 76 75 115 78	25 11 14 31 10 76 25	4 7 6 4 4 12 4 7	4 7 6 4 4 0 4 7 6 4	8 14 12 8 8 12 8 14		
	808 901 902 903 904 905 906 1001 1002 1003 1004	3 bed 2 bed 2 bed 2 bed 2 bed 2 bed 3 bed 2 bed 2 bed 3 bed 2 bed	78 75 76 76 75 115 78 75 76 76	25 11 14 31 10 76 25 11 14 31	4 7 6 4 12 4 7 6 4 4	4 7 6 4 4 0 4 7 6 4 4	8 14 12 8 8 12 8 14 12 8		
Level 10	808 901 902 903 904 905 906 1001 1002 1003 1004 1005 1006	3 bed 2 bed 2 bed 2 bed 2 bed 2 bed 3 bed 2 bed 2 bed 3 bed 2 bed 2 bed 2 bed 3 bed 3 bed 3 bed 3 bed	78 75 76 76 75 115 78 75 76 76 76	25 11 14 31 10 76 25 11 14 31 10 46	4 7 6 4 12 4 7 6 4 4 12	4 7 6 4 4 0 4 7 6 4 4 0	8 14 12 8 8 12 8 14 12 8 8 12		
	808 901 902 903 904 905 906 1001 1002 1003 1004 1005 1006	3 bed 2 bed 3 bed 2 bed	78 75 76 76 75 115 78 75 76 76 77 75 71 77 78 77 78	25 11 14 31 10 76 25 11 14 31 10 46	4 7 6 4 4 12 4 7 6 4 4 7 6 4 4 12	4 7 6 4 4 0 4 7 6 4 4 0	8 14 12 8 8 12 8 8 12 8 8 12 8 8 12 8 8 8 12 8 8 8 12 8 8 8 12 8 8 8 12 8		
Level 10	808 901 902 903 904 905 906 1001 1002 1003 1004 1005 1006 1101 1102	3 bed 2 bed 2 bed 2 bed 2 bed 2 bed 3 bed 2 bed 3 bed 2 bed 3 bed 2 bed 3 bed 2 bed	78 75 76 76 75 1115 78 75 76 76 77 76 77 78 77 78 77 78 77 78 77 78 77 78 77 78	25 11 14 31 10 76 25 11 14 31 10 46 25 11	4 7 6 4 112 4 7 6 4 4 12 4 7	4 7 6 4 4 0 0 4 4 7 7	8 14 12 8 8 12 8 8 14 12 8 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 14 15 16 16 16 16 16 16 16 16 16 16 16 16 16		
Level 10	901 902 903 904 905 906 1001 1002 1003 1004 1005 1006 1101 1102 1103	3 bed 2 bed	78 75 76 76 77 75 115 78 76 76 76 77 76 77 77 77 77 77 77 77 77	25 11 14 31 10 76 25 11 14 31 10 46 25 11	4 7 6 4 112 4 7 6 4 112 4 7 6 4 4 12	4 7 6 4 4 0 4 7 6 4 4 0 4 7 6 4 4 7 6	8 14 12 8 8 14 12 8 8 14 12 8 8 12 8 8 12 8 8 12 8 8 12 8 8 12 8 14 12 8 8 14 12 8 8 14 12		
Level 10	808 901 902 903 904 905 906 1001 1002 1003 1004 1005 1006 1101 1102	3 bed 2 bed 2 bed 2 bed 2 bed 2 bed 3 bed 2 bed 3 bed 2 bed 3 bed 2 bed 3 bed 2 bed	78 75 76 76 75 1115 78 75 76 76 77 76 77 78 77 78 77 78 77 78 77 78 77 78 77 78	25 11 14 31 10 76 25 11 14 31 10 46 25 11	4 7 6 4 112 4 7 6 4 4 12 4 7	4 7 6 4 4 0 0 4 4 7 7	8 14 12 8 8 12 8 8 14 12 8 8 8 14 12 8 8 12 8 8 14 12 8 8 14 12 8 8 14 14 15 8 8 14 14		
Level 10	808 901 902 903 904 905 906 1001 1002 1003 1004 1005 1006 1101 1102 1103 1104	3 bed 2 bed 2 bed 2 bed 2 bed 2 bed 3 bed 2 bed 2 bed 3 bed 2 bed	78 75 76 76 76 77 115 78 75 76 76 75 76 76 75 76 76 77 77 78 77 78 77 78	25 11 14 31 10 76 25 11 14 31 10 46 25 11	4 7 6 4 4 12 4 7 6 4 4 12 4 7 6 4 4 4 12	4 7 6 4 4 0 4 7 6 4 4 0 4 4 0 4 4 0 4 4 0 6 4 4 4 0 6 4 0 0 0 0	8 14 12 8 14 12 8 8 12 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 14 12 8 8 14 14 15 15 16 16 16 16 16 16 16 16 16 16 16 16 16		
Level 10	908 901 902 903 904 905 906 1001 1002 1003 1004 1006 1101 1102 1103 1104 1105	3 bed 2 bed 3 bed 2 bed 3 bed 3 bed 2 bed	78 75 76 76 77 75 115 78 75 76 75 115 78 75 76 76 75 115 78 76 77 76 77 77 78 77 78 77 78 77 78 77 78	25 11 14 31 10 76 25 11 14 31 10 46 25 11 14 31	4 7 6 4 12 4 7 6 4 4 12 4 7 6 4 4 4 12 4 4 7 6 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	4 7 6 4 0 4 7 6 4 4 0 4 4 7 6 4 4 4 0 0 4 4 4 4 0 0 0 0 0 0 0 0 0 0	8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 14 12 8 8 8 8 8 8 8 8 8 8 8 8		

GENERAL NOTES:

- GENERAL NOTES:

 ALL WORKS TO COMEN' WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF
 RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN
 BUILDING STANDARDS

 CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE REFORE COMMENCING WORK—SHOULD A
 DISCREPANTY DE IDENTIFED LESSE COMPRIM WITH ARCHITECT PRIOR TO PROCEEDING TO
 NOT SCALE FROM DRAWNICS!

 DRAWNISS FOR THE PURPOSES OF DA ONLY FURTHER CONSULTANT/ AUTHORITY
 COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY HERACT ON DESIGN AND
 COPYRIGHT OF DISCING MOWN MEEDEN IS ET AIMED BY PBD ARCHITECTS. AND AUTHORITY
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LEGEND:

LEGEND:

AW AWNING

FH FIRE HYDRANT

FIRE PIDE HOSE REEL

FOR STARES

GO GATED DEAN TO HYDRAULIC ENGINEERS DETAILS

HL HEHLIGHT WINDOW

MA RODE HATCH ACCESS

MB MALDOX TO FUTURE DETAIL

MV MECHANICAL RISER TO FUTURE DETAIL

PB PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL

PS ELLIPTICAL PRIVACY SCREEN

R RECYCLING BIN

RW RENDERED WALL/ SELECTED PAINT FINISH

SK SKY LIGHT

ST STORAGE

AMENDMENTS NOTES:

- ENDMENTS NOTES:
 REVISED APARTMENTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE
 SOLAR COMPLIANCE AND GFA REDUCTION.
 INCORPORATED 12M LANDSCAPED 2001 FOR THE STREET FOOTPATH
 WITHIN NORTHERN SITE BOUNDARY.
 RELOCATED SUBSTATION.
 RELOCATED HORBANT BOOSTERS.
 PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL
 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY).
 FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION
 RAISED THE REQUIDE FLOOR LEVEL WITH REVISED FLOOR TO FLOOR
 LEVELS.
 WIDEN BUILDING ENTRY/THRESHOLD
 REVISED COMMUNAL OPEN SPACE AREA
 INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
 ADDED PLANTER BOX IN FRONT OF UNIT 101

E	04.04.2018	REVISED DA
D	11.12.2017	UNIT AREAS REVISED
С	21.11.2017	DRAWING FOR BASEMENT 3 ADDED
В	27.10.2017	ISSUE FOR DA
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

QUANTUM GROUP

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PROPOSED RESIDENTIAL DEVELOPMENT 58-68 REGENT STREET, KOGARAH

NOVEMBER 2017

DRAWING TITLE: **COVER SHEET**

SCALE:	DRAWING NO:
N/A	
	- DAOOO
PROJECT NO:	─ DA000
1728	

PROJECT INFORMATION

58-68 Regent Street, Kogarah				
2016 sqm				
Proposed 4 : 1 = 8064 sqm				
Proposed: R4 - High Density Residential				
Proposed: 33m				
	Proposed 4 : 1 = 8064 sqm Proposed: R4 - High Density Residential			

UNIT MIX - 96 UNITS

Level	Bed: 1	Bed: 2	Bed: 3	Total
LEVEL 1 (GROUND LEVEL)	3	8	0	11
LEVEL 2-4	9	24	0	33
LEVEL 5-8	4	20	8	32
LEVEL 9-11	0	15	3	18
LEVEL 12	0	2	0	2
TOTAL	16	69	11	96
	17%	72%	11%	

CAR PARKING - RMS Rates

CAR FARRING - RIMO Rates				
	Minimum Rate	No. of Units	Minimum allowed	Proposed
Residential				
1 Bed	0.4 per unit	16	6.4	16
2 Bed	0.7 per unit	69	48.3	77
3 Bed	1.2 per unit	11	13.2	22
			67.9	115
Visitor	1 per 7 units	96	13.7	14
TOTAL			81.6	129
Accessible	10% of apartments	96	9.6	10

BICYCLE REQUIREMENTS

	Rate	No. of Units / Area	Required	Proposed
	•			
Bicycle				
Residential	1 per 3 unit	96 units	32	32
Visitor	1 per 3 unit 1 per 10 unit	96 units	9.6	10
TOTAL	•		41.6	42

GFA

Level	Area	
LEVEL 1 (GROUND LEVEL)	868	
LEVEL 2-4	2562	
LEVEL 5-8	2768	
LEVEL 9-11	1668	
LEVEL 12	195	
Total	8061	

FSR = 4:1

OTHER REQUIREMENTS				
	ADG Req	Required	Proposed	
Deep Soil	7% of the site	> 141 sqm	163 sqm = 8%	
Communal Open Space	25% of the site	> 504 sqm	550 sqm = 27%	
Adaptable Dwellings	10% of total number of dwellings	9.6 units	10 units	
=	0000 51.1.1	40.0 "	00 11 0101	
Livable Dwellings	20% of total number of dwellings	19.2 units	20 units = 21%	
Solar Access	70% of total number of dwellings	> 67.2 units	74 units = 77%	
Colai Alocoo	7 6 76 GI GGGI Hamber of Gwellinge	5 0712 dillio	7. 411116	
Cross Ventilation	60% of total number of dwellings	> 57.6 units	58 units = 60%	
Single South Facing Units	15% of total number of dwellings	< 14.4 units	14 units = 15%	

GENERAL NOTES:

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 CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMPRISING WORK—SHOULD A DISCREPARKY DE IDENTIFED LESSE CONFIRM WITH ARCHITECT PRIOR TO PROFECEING (DO NOT SCALE FROM DRAWINGS)

 DRAWINGS FOR THE PURPOSES OF DA ONLY FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CE STAGE WHICH MAY HERACT ON DESIGN AND COPYRIGHT OF DESIGN SHOWN MEEDEN IS FEATURED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION

LEGEND:

LEGEND:

AW AWNING
FH FIRE HYDRANT
FHR FIRE HYDRANT
FHR FIRE STARS
GC DESTRICT STARS

AMENDMENTS NOTES:

- AMENDMENTS NOTES:

 1. REVISED APARTMENTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION.

 2. INCORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN MORTHENS ISSE BOUNDARY.

 3. RELOCATED SUBSTATION.

 4. RELOCATED SUBSTATION.

 5. PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY).

 6. FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION RANGED ALONG STANLEY LANE (WESTERN BOUNDARY).

 7. RAISED THE GROUND FLOOR LEVEL WITH EVISED FLOOR TO FLOOR LEVELS.

 8. WIDEN BUILDING ENTRY/THRESHOLD.

 9. REVISED COMMUNAL OPEN SPACE AREA

 10. INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT ADDED PLANTER BOX IN FRONT OF UNIT 101

D	04.04.2017	REVISED DA
C	11.12.2017	UNIT AREAS RVISED
В	21.11.2017	REVISED PROPOSED PARKING BAYS
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

QUANTUM GROUP

ARCHITECT:



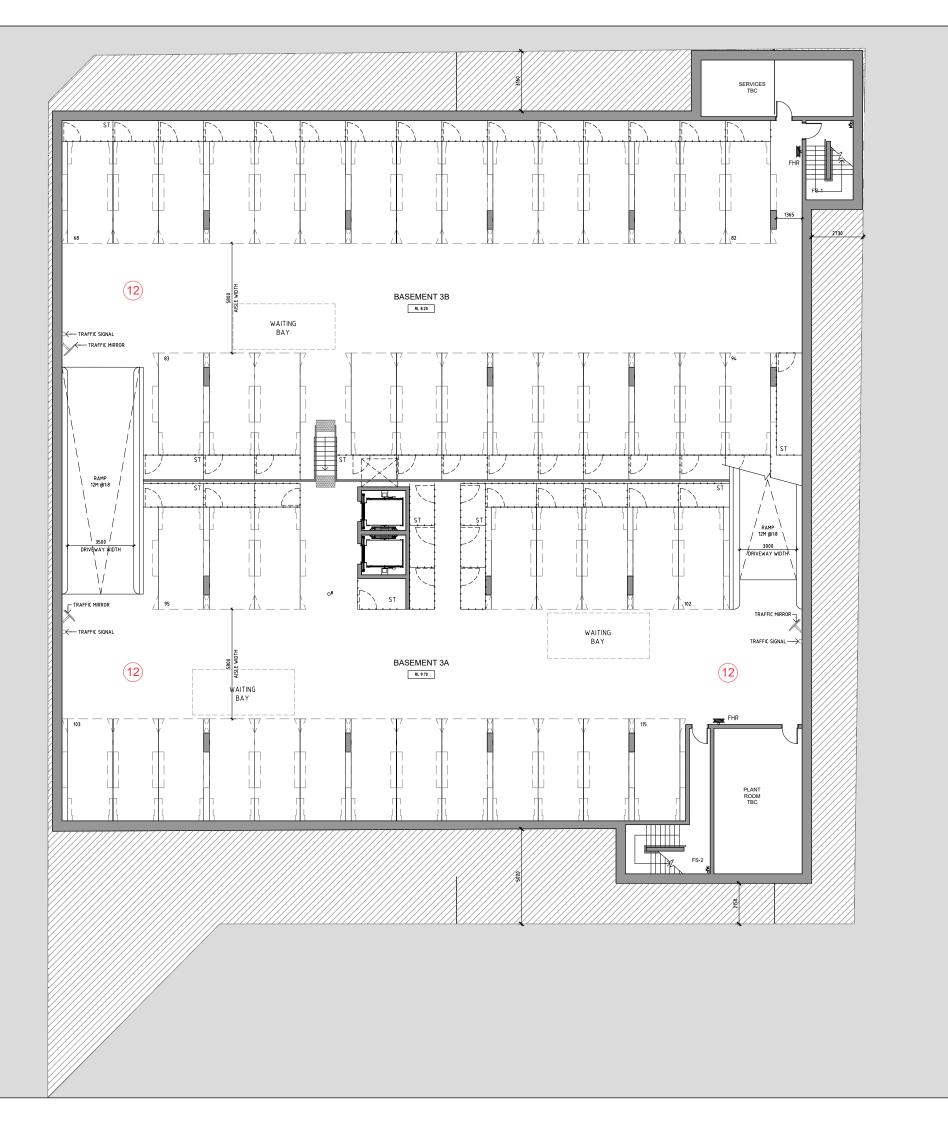
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PROPOSED RESIDENTIAL DEVELOPMENT 58-68 REGENT STREET, KOGARAH

NOVEMBER 2017

DRAWING TITLE: PROJECT SUMMARY

SCALE: N/A DRAWING NO: DA001



GENERAL NOTES:

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MB MALIBOX TO FUTURE DETAIL
MV MECHANICAL RISER TO FUTURE DETAIL
PB PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS ELLIPTICAL PRIVACY SCREEN
R RECYCLING BIN
RW RENDERED WALL/ SELECTED PAINT FINISH
SK SKY LIGHT
ST STORAGE

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 REVISED COMMUNAL OPEN SPACE AREA
 INCERASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
 ADDED PLANTER BOX IN FRONT OF UNIT 101
 ADDED LANTER BOX IN FRONT OF UNIT 101
 ADDED LANTER BOX IN FRONT OF UNIT 101
 ADDED TRAFFIC MANAGEMENT SYSTEM IN BASEMENT LEVELS.

| B | 03.05.2018 | ADDED TRAFFIC MANAGEMENT SYSTEM | A | 21.11.2017 | BASEMENT 3 ADDED | ISSUE | DATE | DESCRIPTION |



QUANTUM GROUP

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PROPOSED RESIDENTIAL DEVELOPMENT 58-68 REGENT STREET, KOGARAH

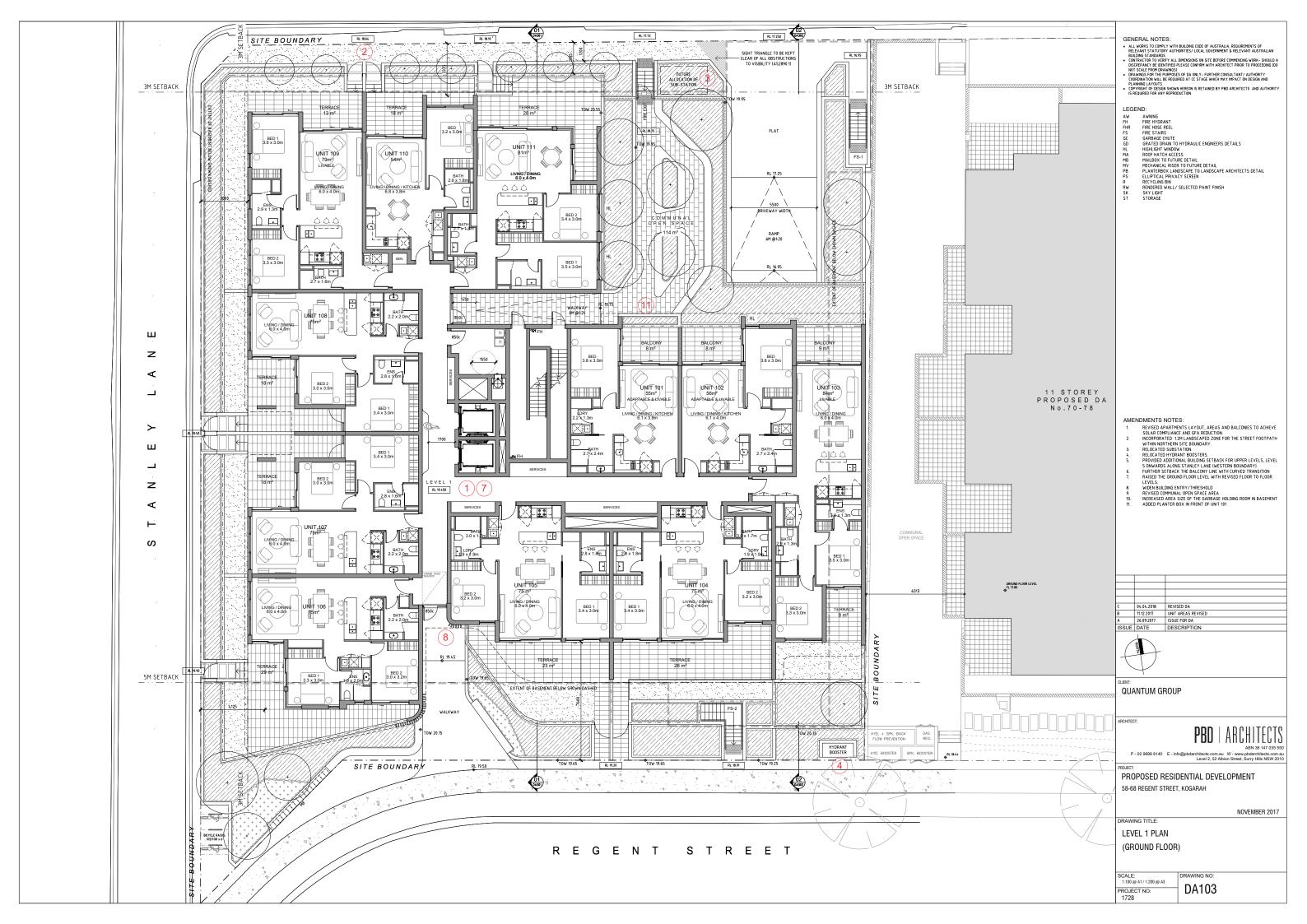
NOVEMBER 2017

DRAWING TITLE:

BASEMENT LEVEL 3 PLAN

SCALE: 1:100 @ A1 / 1:200 @ A3 PROJECT NO:

DA100 1728







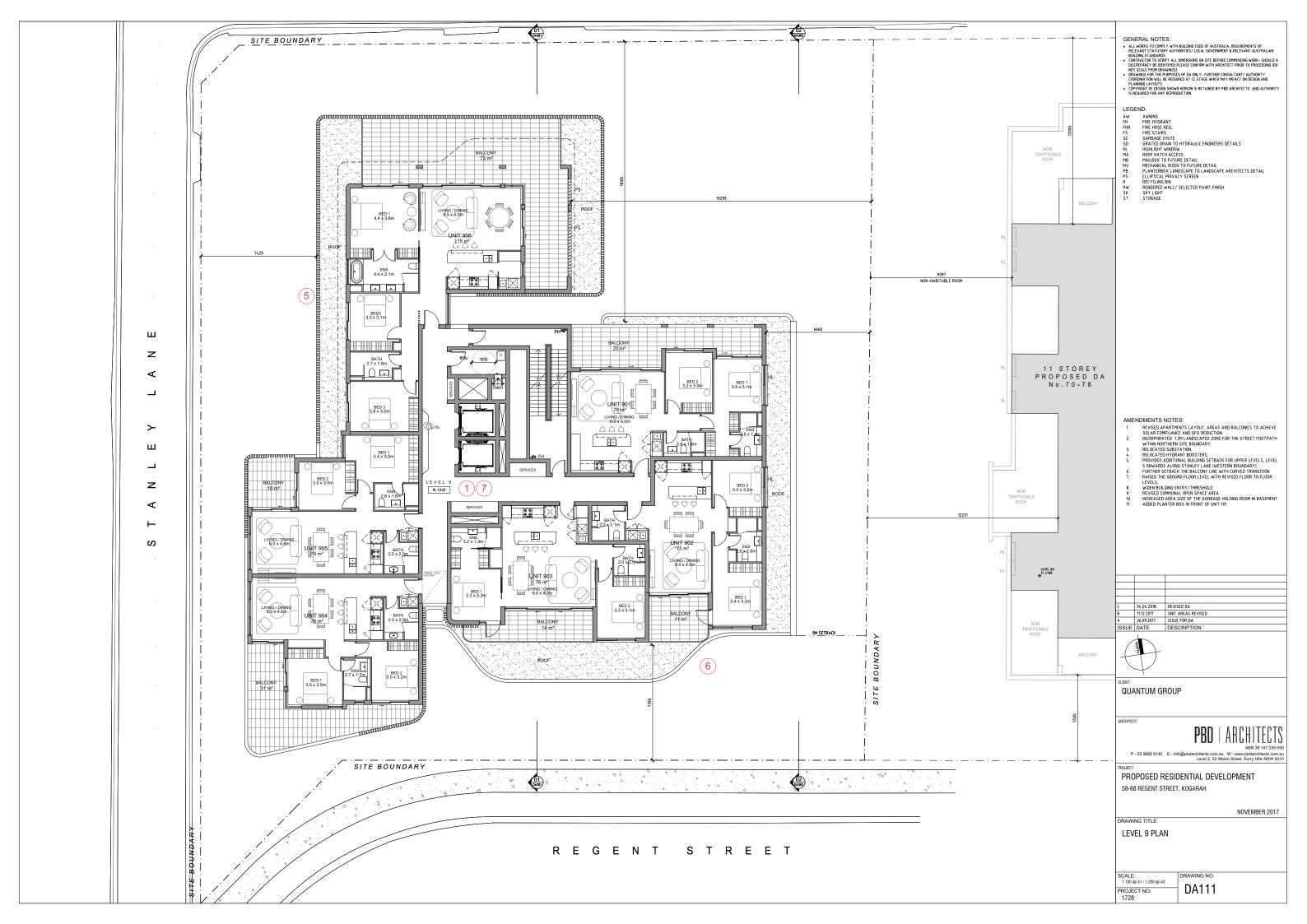




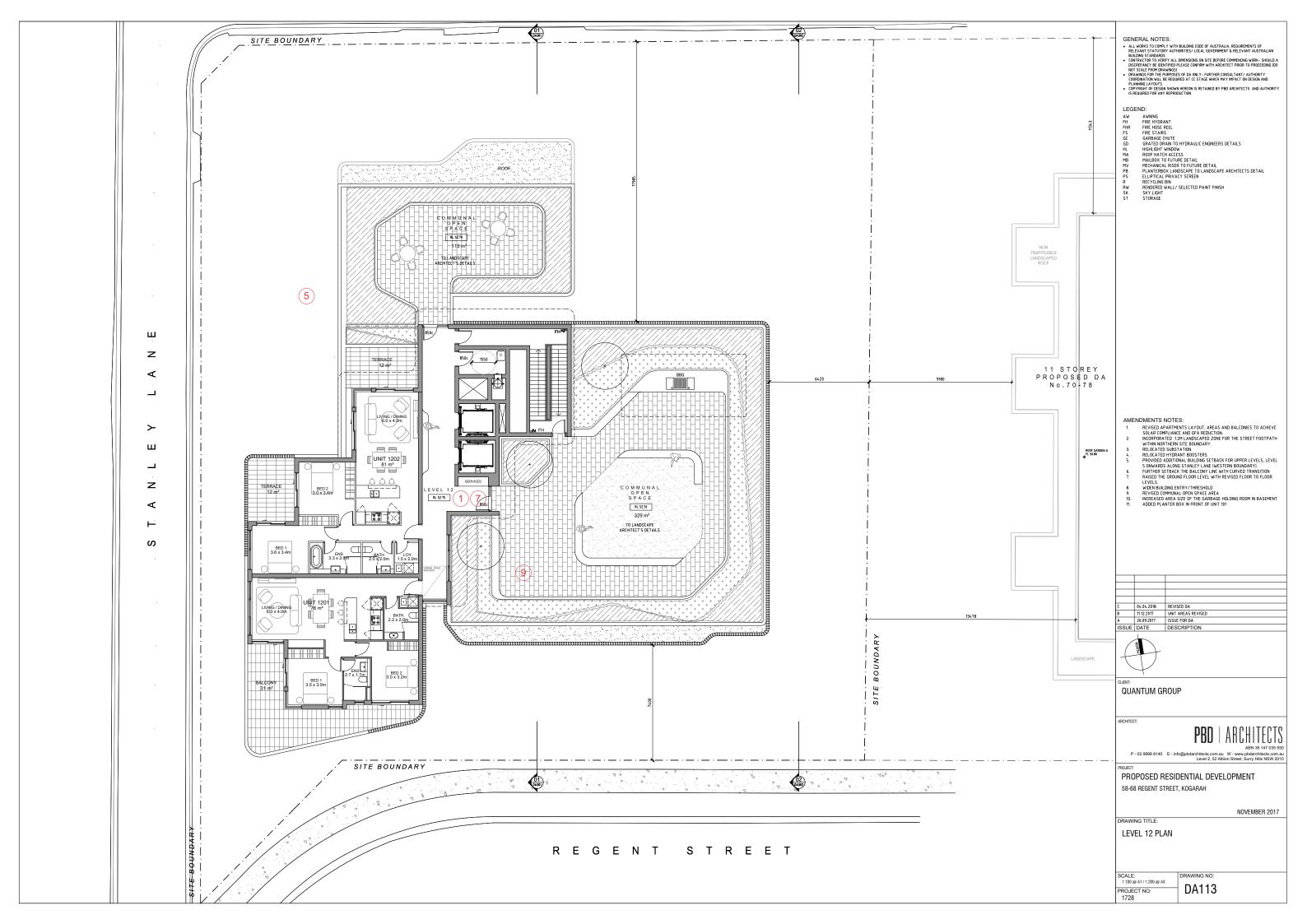


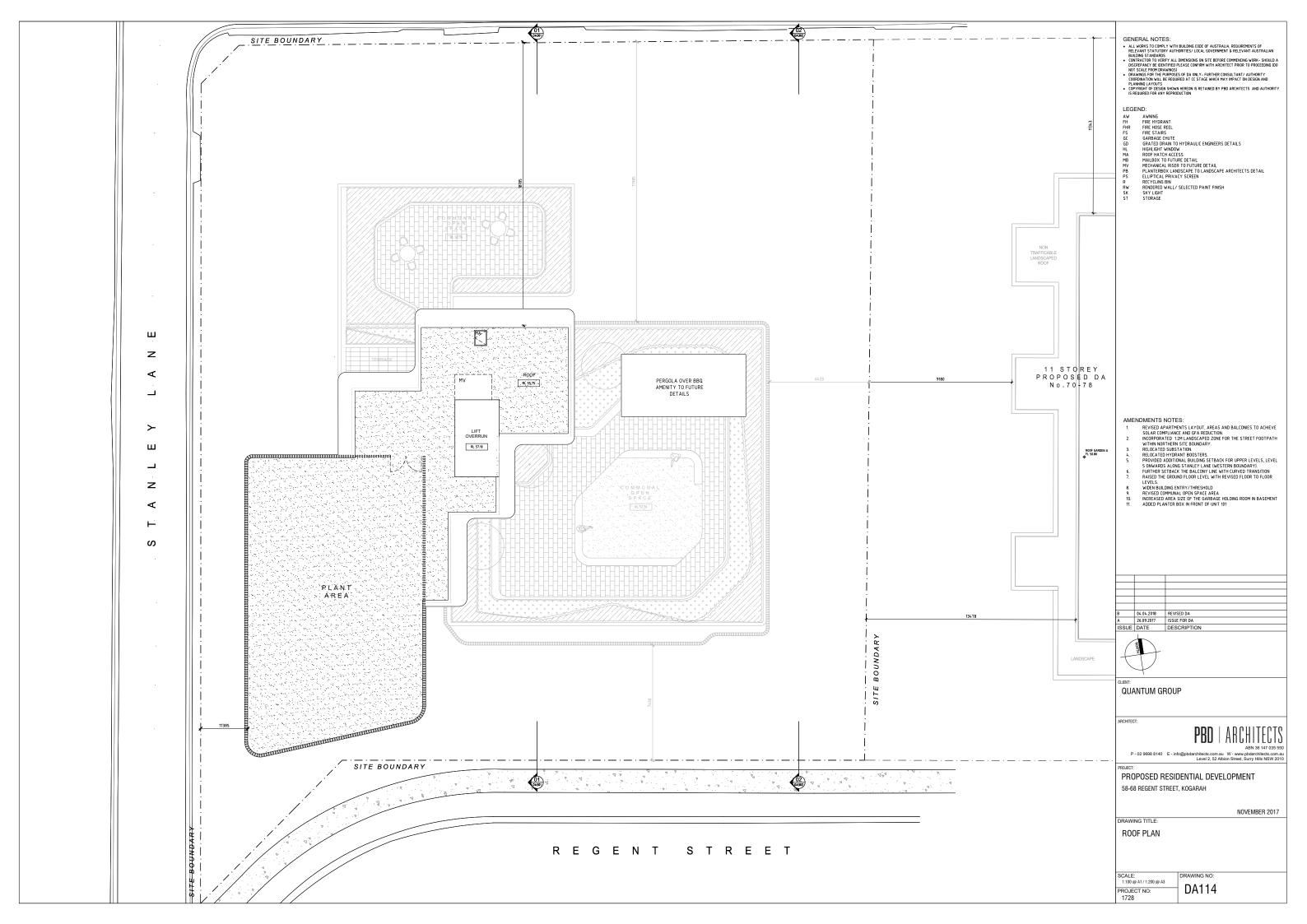




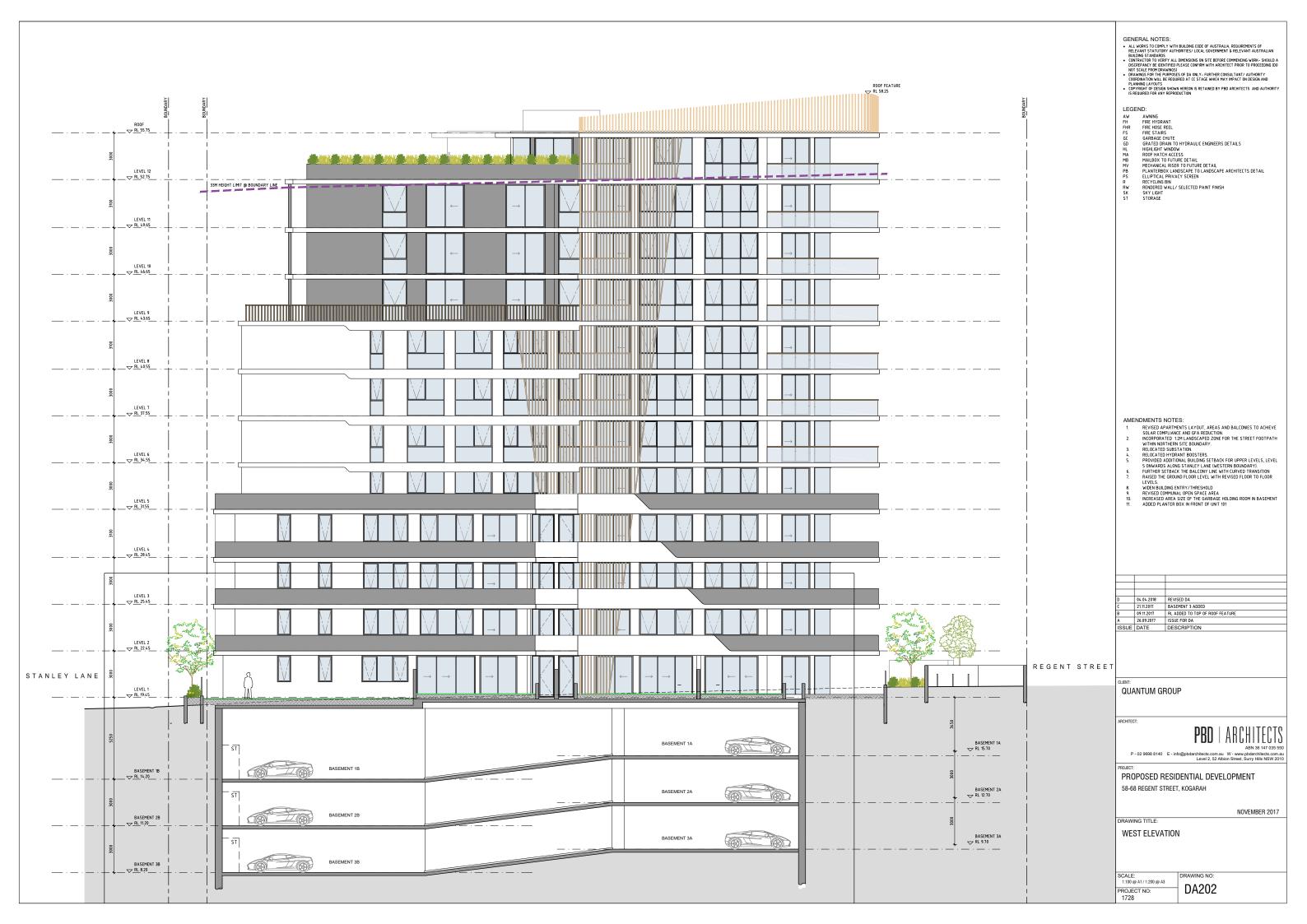




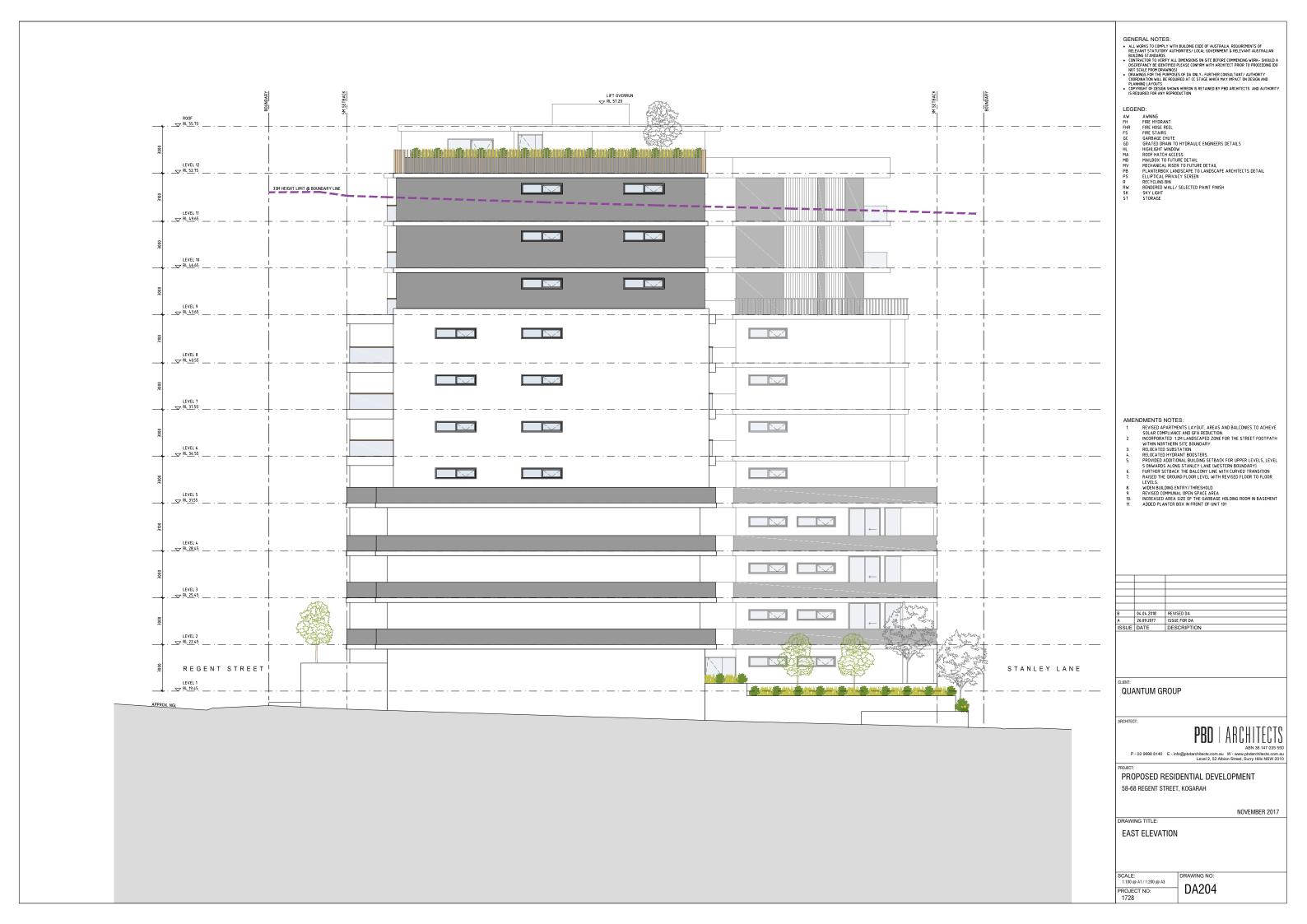




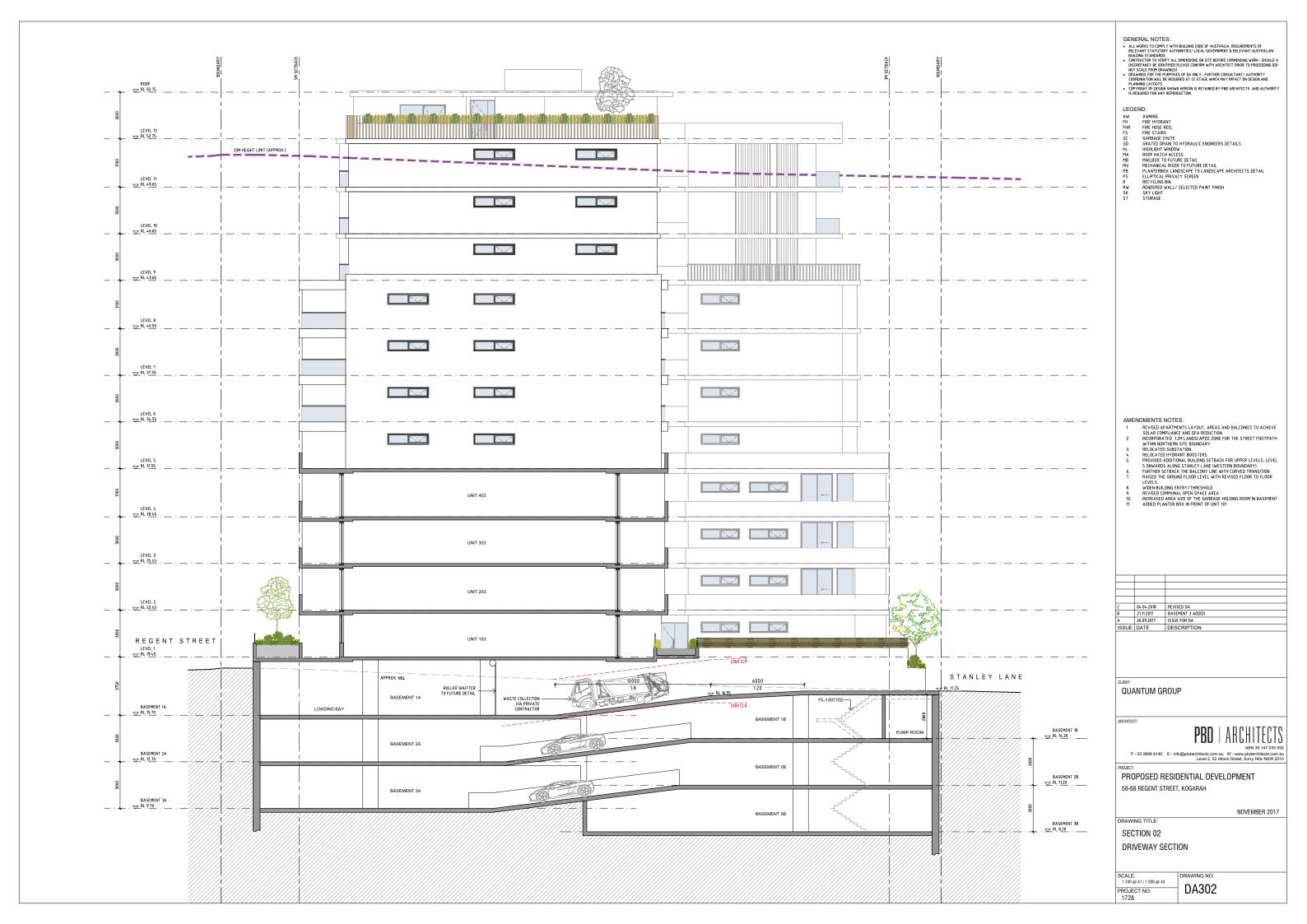




















2 LEVEL 2-4 SCALE 1 : 200 @ A1

<u>AREA SUMMARY</u> $= 2016 \text{ m}^2$ SITE AREA GFA AT 4:1 FSR $= 8064 \text{ m}^2$ $= 8061 \, \text{m}^2$ PROPOSED GFA PROPOSED FSR = 4:1 $= 868 \text{ m}^2$ LEVEL 1 $= 2562 \text{ m}^2$ LEVEL 2-4 LEVEL 5-8 $= 2768 \text{ m}^2$ LEVEL 9-11 $= 1668 \text{ m}^2$ $= 195 \text{ m}^2$ LEVEL 12 <u>LEGEND</u> GFA AREA

GENERAL NOTES:

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 A LI LYORS TO COMEY WITH BILLDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BULLDING STANDARDS

 CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORKS—SHOULD A DISCREPANCY BE OPERFIFED FLESC COMPRIMENT HACKITECT PROPERTOR FORCEDING ION NOT SCALE FROM DRAWNISS IN SET OF LORDING THE OFFICE OF AUSTRALIAN OF LORDING THE OFFICE OFFICE OFFICE OFFICE ON THE OFFICE ON THE OFFICE OFF

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AMENDMENTS NOTES:

- NDMENTS NOTES:

 REVISED APATHENTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION INCOPPORATED 124H LANDSCAPED ZOME FOR THE STREET FOOTPATH WITHIN NORTHERN SITE BOUNDARY.

 RELOCATED BUSISTATION RELOCATED HYDRANT BOOSTERS.

 PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY).

 FURTHER SETBACK THE BALCORY LINE WITH CUYPED TRANSITION RAISED THE GROUND FLOOR LEVEL S.

- RAISED THE GRUONDE FLOOR LEVEL WITH THE THE LEVELS.
 WIDEN BUILDING ENTRY/THRESHOLD.
 REVISED COMMUNAL OPEN SPACE AREA
 INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
 ADDED PLANTER BOX IN FRONT OF UNIT 101

В	04.04.2018	REVISED DA
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



QUANTUM GROUP

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PROPOSED RESIDENTIAL DEVELOPMENT 58-68 REGENT STREET, KOGARAH

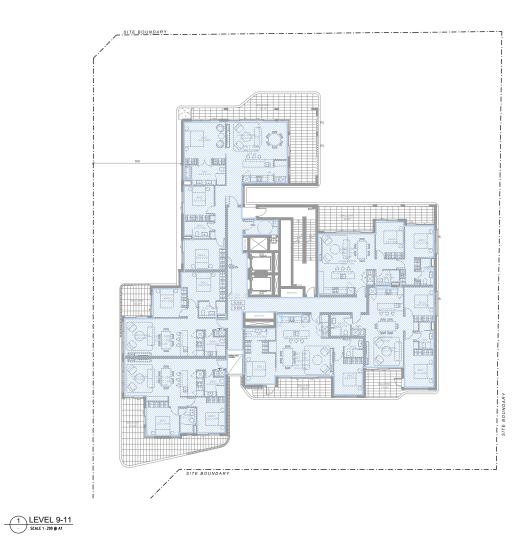
NOVEMBER 2017

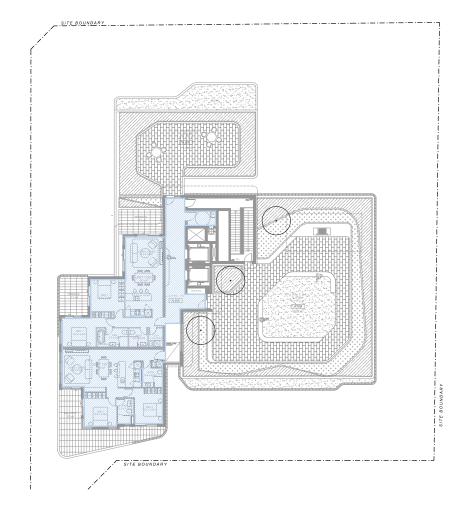
DRAWING TITLE: GFA DIAGRAM

SHEET 1 OF 2

SCALE: 1:200 @ A1 / 1:400 @ A3 DA501









<u>AREA SUMMARY</u> SITE AREA $= 2016 \text{ m}^2$ GFA AT 4:1 FSR $= 8064 \text{ m}^2$ $= 8061 \, \text{m}^2$ PROPOSED GFA PROPOSED FSR = 4:1 $= 868 \text{ m}^2$ LEVEL 1 $= 2562 \text{ m}^2$ LEVEL 2-4 $= 2768 \text{ m}^2$ LEVEL 5-8 LEVEL 9-11 $= 1668 \text{ m}^2$ $= 195 \text{ m}^2$ LEVEL 12 <u>LEGEND</u> GFA AREA

GENERAL NOTES:

- GENERAL NOTES:

 ALL WORKS TO COMEN' WITH BUILDING CODE OF AUSTRALIA, PEQUIREMENTS OF
 RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN
 BUILDING STANDARDS

 CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK—SHOULD A
 DISCREPANTY DE IDENTIFED LESSE CONFIRM WITH ARRECTIVET PROBE TO PPOCEEDING (DO
 NOT SCALE FROM DRAWINGS)
 DRAWINGS FOR THE PURPOSES OF DA ONLY FURTHER CONSULTANT/ AUTHORITY
 COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY MP ACT ON DESIGN AND
 PLANNING LAT OUTSINS HOWN HERCEN IS RETAINED BY PRO ARCHITECTS AND AUTHORITY
 IS REQUIRED FOR ANY REPRODUCTION

LEGEND:

GEND:

AWNING
FIRE HYDRANT
FIRE HOSE REEL
FIRE STAREHT
FIRE STAREHT
GARATED PEANT TO HYDRAULIC ENGINEERS DETAILS
HIGHLIGHT WINDOW
RODE HATCH ACCESS
MALBOX TO FUTURE DETAIL
MECHANICAL RISER TO FUTURE DETAIL
MECHANICAL RISER TO FUTURE DETAIL
ELIPTICAL PRIVACY SCREEN
RECYCLING BIN
RENDERED WALL/ SELECTED PAINT FINISH
SKY LIGHT
STORAGE

AMENDMENTS NOTES:

- INDMENTS NOTES:

 REVISED APARTHEISTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION
 INCORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NORTHEEN SITE BOUNDAY?
 RELOCATED SUBSTATION.
 RELOCATED HYPRANT BOOSTERS.
 PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY).
 FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS.
 WIDEN BUILDING ENTRY/THRESHOLD
 REVISED COMMUNAL OPEN SPACE AREA
 INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT ADDED PLANTER BOX IN FRONT OF UNIT 101

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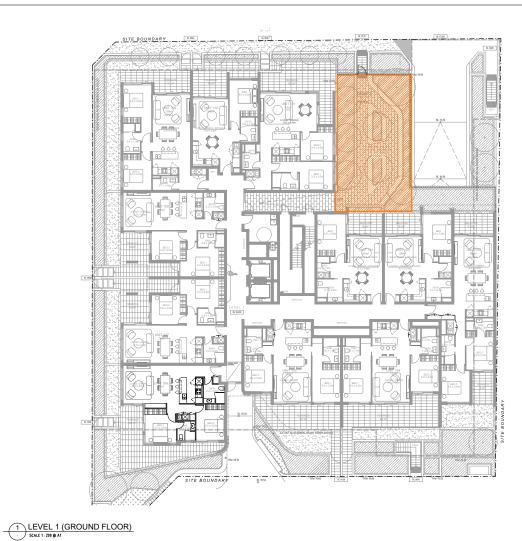
NOVEMBER 2017

GFA DIAGRAM

DRAWING TITLE:

SHEET 2 OF 2

SCALE: 1:200 @ A1 / 1:400 @ A3 DA502 1728







COMMUNAL OPEN SAPCE AREA SUMMARY

 $= 2016 \text{ m}^2$ SITE AREA

MINIMUM REQUIRED = 25% (ADG)

 $= 504 \text{ m}^2$

 $= 550 \text{ m}^2$ PROPOSED

= 27%

<u>LEGEND</u>



SITE BOUNDARY

COMMUNAL OPEN SPACE AREA

GENERAL NOTES:

- GENERAL NOTES:

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 PLANNING LAT OUTSINS HOWN HERCEN IS RETAINED BY PRO ARCHITECTS AND AUTHORITY
 IS REQUIRED FOR ANY REPRODUCTION

LEGEND:

SEND:

AWNING
PIRE HYDRANT
PIRE HOSE REEL
PIRE STARE
GENETION OF THE MEMORY
GENETION OF THE MEMORY
GENETION OF THE MEMORY
BOOF HATCH ACCESS
MALBOX TO FUTURE DETAIL
MECHANICAL RISER TO FUTURE DETAIL
PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
ELLIPTICAL PRIVACY SCREEN
RECYCLING BIN
RENDERED WALL/ SELECTED PAINT FINISH
SKY LIGHT
STORAGE

AMENDMENTS NOTES:

- NDMENTS NOTES:

 REVISED APATHENTS LAYOUT, APEAS AND BALCONIES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION.

 NICOPPORATED 129L ANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NORTHERN SITE BOUNDARY.

 RELOCATED SUBSTATION.

 RELOCATED HYDRANT BOOSTERS.

 PROVIDED ADDITIONAL BUILDINGS ETBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY).

 FURTHER STEAK THE BALCORY LINE WITH CHEVED TRANSITION RAISED THE GROUND FLOOR LEVEL.

- RAISED THE UNDOWNET-LOOK LEVEL WITH REVISED FLOOR TO FLOOR LEVELS. WIDEN BUILDING ENTRY/THRESHOLD REVISED COMMUNAL OPEN SPACE AREA INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT ADDED PLANTER BOX IN FRONT OF UNIT 101
- B 04.04.2018 REVISED DA
 A 26.09.2017 ISSUE FOR DA
 ISSUE DATE DESCRIPTION



QUANTUM GROUP

RCHITECT:



NOVEMBER 2017

P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.a Level 2, 52 Albion Street, Surry Hills NSW 201

PROPOSED RESIDENTIAL DEVELOPMENT 58-68 REGENT STREET, KOGARAH

DRAWING TITLE:

COMMUNAL OPEN SPACE DIAGRAM

SCALE: 1:200 @ A1 / 1:400 @ A3 DA520 PROJECT NO: 1728



SOLAR EYE VIEW - 9AM



SOLAR EYE VIEW - 10AM



L1	900	1000	1100	1200	1300	1400	1500	TOTAL
101	1	1	1	1	1	,		4
103	-	_		V	1	√		0
105 106				1	1	1	4	3
107				1	1	1	4	3
109	1	1	1	1	1	1	1	6
111	1	1	1	1	1	√	1	6
HRS L2	900	1000	1100	1200	1300	1400	1500	TOTAL
201	1	1	1	√ √	4			3 4
203 204	1	/	1	V	√	√		5
205								0
206 207				1	1	1	1	3
208 209	1	1	1	1	√ √	√ √	1	3 6
210 211	1	1	1	✓ ✓	1	√ √	1	6
HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L3 301	1	/	/	-/				3
302 303	1	1	1	\ \	1	✓		4 5
304 306			·	·				0
306				V	√	✓	1	3
307 308				/	1	1	1	3
309 310	1	1	/	/	>	√ √	1	6
311	1	1	✓	✓	✓	√	✓	6
HRS L4	900	1000	1100	1200	1300	1400	1500	TOTAL
401 402	1	1	1	1	V			3 4
403 404	/	1	/	/	1	√		5
405 406				1			4	0
407			1	1	1	1	1	5
408 409	1	1	/	1	1	1	1	3 6
410 411	1	1	1	1	1	1	1	6
HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L5 501	1	1	/	√				3
502 503	1	1	/	V	√			4
504 505				V	V	4	1	0
506			/	✓	1	✓	V	4
507 508	1	/	1	/	1	1	1	6
HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L6 601	1	/	/	1				3
602 603	1	1	1	V	✓			4
604 605				1	1	1	1	3
606 607	1	1	1	1	1	1	1	4 6
608	1	1	· /	√	1	√	✓	6
HRS L7	900	1000	1100	1200	1300	1400	1500	TOTAL
701 702 703	1	1	1	1	1			3 4 0
704								0
705 706			1	1	1	1	1	3 4
707 708	1	/	/	1	1	1	1	6
HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L8 801	1	/	1	1	√			4
802 803	1	1	V	√	√			4
804 805				1	1	√	4	0
806 807	1	1	1	1	1	1	1	4
808	1	<i>'</i>	/	V	· /	√ √	1	6
HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L9 901	/	/	/	/				3
902 903								0
904 905			/	√ √	√ √	1	1	3 4
906	✓	✓	✓	✓	√	√	✓	6
HRS L10	900	1000	1100	1200	1300	1400	1500	TOTAL
1001	1	1	1					3
1002				V	√	V	1	3
1002 1003 1004		1	1	√ ✓	√ ✓	√ √	√ √	6
1002 1003	/		1100	1200	1300	1400	1500	TOTAL
1002 1003 1004 1005 1006 HRS	900	1000		1	1			4
1002 1003 1004 1005 1006	V	1000	1					0
1002 1003 1004 1005 1006 HRS L11	900		1					3
1002 1003 1004 1005 1006 HRS L11 1101 1102 1103 1104	900			<i>y</i>	1	1	1	
1002 1003 1004 1005 1006 HRS L11 1101 1102 1103	900		1	1	√ √ √	√ √	1	6
1002 1003 1004 1005 1006 HRS L11 1101 1102 1103 1104 1105 1106 HRS	900	<i>y</i>	1	1	1	✓	4	
1002 1003 1004 1005 1006 HRS L11 1101 1102 1103 1104 1105 1106 HRS L12 1201	900	√ √ √	1100	1200	1300	1400	1500	TOTAL 3
1002 1003 1004 1005 1006 HRS L11 1101 1102 1103 1104 1105 1106 HRS L12 1201	900 -/	J J J J J J J J J J J J J J J J J J J	1	1200	1300	1400	1500	TOTAL 3 6
1002 1003 1004 1005 1006 HRS L11 1101 1102 1103 1104 1105 1106 HRS L12 1201	900 / / 900 / Solar Access	J J J J J J J J J J J J J J J J J J J	1100	1200	1300	1400	1500	TOTAL 3 6
1002 1003 1004 1005 1006 HRS L11 1101 1102 1103 1104 HRS L12 1105 1106	900 / 900 / 900 Soler Access (to living root	1000	1100	1200	1300	1400	1500 1500 V	TOTAL 3 6
1002 1003 1004 1005 1006 1006 HRS L11 1101 1102 1103 1106 HRS L12 1201 1202	900 / 900 / 900 Soler Access (to living root	1000 1000 June and private is and private is and private.	1100	1200	1300	1400	1500 1500 V	TOTAL 3 6

GENERAL NOTES:

- GENERAL NOTES:

 ALL WORKS TO COMEN WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF
 RELEVANT STATUTERY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN
 BUILDING STANDARDS

 CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMEXING WORK—SHOULD A
 DISCREPANTY BE DIEDTHERP LALES COMPRIM WITH ARCHITECT PROR TO PROCEEDING 100
 NOT SCALE FROM DRAWNOS!

 DRAWINGS FOR THE PURPOSES OF DA ONLY FURTHER CONSULTANT/ AUTHORITY
 COMMISSION WILL BE REQUIRED AT CC STAGE WHICH HAY HEACT ON DESIGN AND
 COPYRIGHT OF DESIGN SHOWN MEEDEN IS ETAINED BY PBD ARCHITECTS. AND AUTHORITY
 IS REQUIRED FOR ANY REPRODUCTION

LEGEND:

LEGEND:

AW AWNING

FH FIRE HYDRANT

FIRE PIDE HOSE REEL

FOR STARES

GO GATED DEAN TO HYDRAULIC ENGINEERS DETAILS

HL HEHLIGHT WINDOW

MA RODE HATCH ACCESS

MB MALDOX TO FUTURE DETAIL

MV MECHANICAL RISER TO FUTURE DETAIL

PB PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL

PS ELLIPTICAL PRIVACY SCREEN

R RECYCLING BIN

RW RENDERED WALL/ SELECTED PAINT FINISH

SK SKY LIGHT

ST STORAGE

AMENDMENTS NOTES:

ENDMENTS NOTES:
REVISED APARTMENTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE
SOLAR COMPLIANCE AND GFA REDUCTION.
INCORPORATED 12M LANDSCAPED 2001 FOR THE STREET FOOTPATH
WITHIN NORTHERN SITE BOUNDARY.
RELOCATED SUBSTATION.
RELOCATED HORBANT BOOSTERS.
PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL
5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY).
FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION
RAISED THE REQUIDE FLOOR LEVEL WITH REVISED FLOOR TO FLOOR
LEVELS.
WIDEN BUILDING ENTRY/THRESHOLD
REVISED COMMUNAL OPEN SPACE AREA
INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
ADDED PLANTER BOX IN FRONT OF UNIT 101

В	04.04.2018	REVISED DA
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

QUANTUM GROUP

RCHITECT:

P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010

PROPOSED RESIDENTIAL DEVELOPMENT 58-68 REGENT STREET, KOGARAH

NOVEMBER 2017

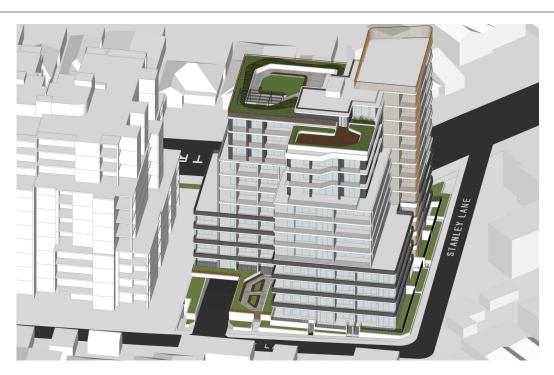
SOLAR EYE VIEW

DRAWING TITLE:

JUNE 9AM - 11AM

SCALE: N.T.S. RAWING NO: DA601





SOLAR EYE VIEW - 12PM



SOLAR EYE VIEW - 1PM



102	1	1	1	1	-/-			3
103	1	1	1	1	1	✓		5
104 105								0
106 107				1	1	1	4	3
108	V	/	V .	1	1	1	1	3
110	1	1	1	✓	√	✓	-/	6
111	1	1	1	√	√	√	✓	6
HRS L2	900	1000	1100	1200	1300	1400	1500	TOTAL
201 202	1	1	1	1	√			3 4
203	/	/	/	/	<i>\</i>	√		5
204 205								0
206 207				1	√ √	1	1	3
208 209	/	/	V	1	√ √	1	4	3
210 211	/	1	1	1	1	1	1	6
								6
HRS L3	900	1000	1100	1200	1300	1400	1500	TOTAL
301 302	1	/	/	√ √	✓			3 4
303 304	/	/	/	✓	✓	√		5
305 306				V	✓	,	V	0
307				/	✓	1	✓	3
308 309	1	/	1	/	√ √	1	1	3 6
310 311	/	/	1	/	√ √	√ √	1	6
HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L4	- J		/1100					
401 402	1	1	/	1	1			3 4
403 404	/	1	1	√	√	√		5
405 406				1	1	1	1	0
407 408			1	1	1	✓	1	5
409	1	1	1	1	1	1	1	6
410 411	1	1	1	1	1	1	1	6
HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L5 501	/	-	/	V				3
502 503	/	1	/	V	✓			4 0
504								0
505 506			V	1	1	1	1	3 4
507 508	1	<i>\</i>	1	1	√ √	1	1	6
HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L6 601	1	/	/	1				3
602 603	/	1	1	/	√			4 0
604								0
								3
605 606			1	1	1	1	1	4
606 607	1	<i>y</i>	<i>J</i>					
606 607 608			1	\ \ \	\ \ \ \	√ √ √	1	4 6 6
606 607 608 HRS L7	900	1000	1100	√ √ √ 1200	1	1	1	4 6 6 TOTAL
606 607 608 HRS L7 701 702			1	\ \ \	\ \ \ \	√ √ √	1	4 6 6 TOTAL 3 4
606 607 608 HRS L7 701 702 703 704	900	1000	1100	1200	1300	√ √ √	1	4 6 6 70TAL 3 4 0 0 0
606 607 608 HRS L7 701 702 703 704 705	900	1000	1100	/ / / 1200	1300	1400	1500	4 6 6 TOTAL 3 4 0 0
606 607 608 HRS L7 701 702 703 704 705	900	1000	1100	/ / / 1200	1300	1400	1500	4 6 6 70TAL 3 4 0 0 3 3
606 607 608 HRS L7 701 702 703 704 705 706 707 708	900	1000	1100	1200 1200	1300	1400	1500	4 6 6 70TAL 3 4 0 0 0 3 4 6 6
606 607 608 HRS L7 701 702 703 704 705 706 707 708	900	1000	1100 1100 1100 1100	1200 1200 1200 1200	1300	1400	1500	4 6 6 70TAL 3 4 6 6 6 TOTAL
606 607 608 HRS L7 701 702 703 704 705 706 707 708 HRS L8 801 802	900	1000	1100	1200 1200	1300	1400	1500	4 6 6 7 TOTAL 3 3 4 4 6 6 6 7 TOTAL 4 4 4 4
606 607 608 HRS L7 701 702 703 704 705 706 707 708 HRS L8 801 802 803 804	900	1000	1100 1100 1100 1100	1200 1200 1200 1200	1300 1300 1300	1400 1400	1500	4 6 6 7 TOTAL 3 4 0 0 0 3 3 4 6 6 6
606 607 608 HRS L7 701 702 703 704 705 706 707 708 HRS 801 801 802 803 804 805 806	900 -/ -/ -/ -/ -/ -/ -/ -/ -/ -/	1000	1100 1100 1100 1100	1200 1200 1200 1200 1200	1300 1300 1300 1300 1300	1400 1400 	1500	4 6 6 7 TOTAL 3 3 4 4 6 6 6 7 TOTAL 4 4 4 0 0 0 0 3 3 3 4 4 4 4 4 4 4 4 4 4
606 607 608 HRS L7 701 702 703 704 705 706 707 708 HRS 801 801 802 803 804 806 806	900 -/ -/ -/ -/ -/ -/ -/ -/ -/ -/	1000	1100 1100 1 100 1 100 1 100	1200 1200 1200 1200 1200	1300 1300 	1400	1500 1500	4 6 6 TOTAL 3 4 0 0 3 4 4 6 6 6 6 TOTAL
606 607 608 HRS L7 701 702 703 704 705 706 707 708 801 801 802 803 804 806 807 808	900	1000	1100 1100 1100 1100 1100 1100 1100 110	1200 1200 1200 1200 1200 1200 1200 1200	1300 1300 1300 1300	1400 1400 1400	1500 1500	4 6 6 6 6
606 607 608 HRS L7 701 702 703 704 705 706 707 708 HRS L8 801 802 803 804 806 807 808	900	1000	1100 1100 1100 1100	\(\frac{1}{\sqrt{200}} \)	1300 1300 1300 1300	1400	1500 	4 6 6 7 TOTAL 4 4 9 0 0 0 3 3 4 4 6 6 6 6 6 7 TOTAL 7
606 607 HRS L7 701 702 703 704 705 801 HRS 801 803 803 805 806 806 807 808 HRS L9 901	900	1000	1100 1100 1100 1100 1100 1100 1100 110	1200 1200 1200 1200 1200 1200 1200 1200	1300 1300 1300 1300	1400 1400 1400	1500 1500	TOTAL 3 4 0 0 0 0 0 0 0 0 0 4 4 4 0 0 0 0 0
606 607 HRS L7 701 702 703 704 705 706 707 708 HRS L8 802 803 804 805 806 807 808 HRS L9 901	900	1000	1100 1100 1100 1100	\(\frac{1}{\sqrt{200}} \)	1300 1300 1300 1300	1400 1400 1400	1500 1500	TOTAL
606 607 608 HRS L7 701 702 703 705 706 706 801 HRS 801 801 803 804 806 807 807 808 806 807 809 901 901 902	900	1000	1100 1100 1100 1100	1200 1200 1200 1200 1200 1200 1200	1300 1300 1300 1300	1400 1400	1500	TOTAL
606 607 608 HRS L7 701 702 704 705 707 706 807 808 801 807 808 807 808 807 808 807 808 807 808 809 809 809 809 809 809 809 809 809	900 	1000	1100 1100 1100 1100 1100 1100 1100	7 1200 1200 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	1300 1300 1300 1300	1400 1400 1400 1400 1400 1400	1500 1500 1500 1500 1500	4 4 4 6 6 6 6 6 6 6
606 607 608 HRS L7 701 702 704 705 707 708 801 801 801 802 803 803 807 806 807 807 809 901 905 906 906	900	1000 	1100 1100 1100	7 1200 1200 1200 1200 1200 1200 1200 120	1300 1300 1300 1300 1300	1400 1400 1400 1400 1400	1500 1500 1500 1500	4 4 4 0 0 3 3 4 6 6 6 6 6 6 7 TOTAL
606 607 608	900 	1000	1100 1100 1100 1100 1100 1100 1100	7 1200 1200 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	1300 1300 1300 1300	1400 1400 1400 1400 1400	1500 1500 1500 1500 1500	4
606 607 608 HRS L7 701 702 703 704 705 706 706 801 800 801 805 805 806 806 806 806 806 807 808 808 809 809 809 809 809 809 809 809	900	1000 	1100 1100 1100	7 1200 1200 1200 1200 1200 1200 1200 120	1300 1300 1300 1300	1400 1400 1400 1400 1400	1500 1500 1500 1500 1500	4
600 607 607 608 HHS 1001 1000 11000 11000 1	900	1000 	1100 1100 1100	1200 1200	1300 1300 1300 1300 1300 1300	1400 1400 1400 1400 1400	1500 1500 1500 1500	4
600 607 607 608 607 608 608 608 608 608 608 608 608 608 608	900	1000 1000 1000 1000 1000	1100 1100 1100 1100 1100 1100 1100	7	1300 1300 1300 1300 1300 1300 1300	1400 1400 1400 1400 1400	1500 1500 1500 1500 1500	4
600 607 600 607 600 607 600 607 600 607 600 607 607	900	1000 1000 1000 1000 1000	1100 1100 1100 1100 1100	7	1300 1300 1300 1300 1300 1300 1300 1300	1400 1400 1400 1400 1400	1500 1500 1500 1500 1500	4
600 HHS L9 HHS L10 HHS L11 HHS L10 HHS L11 HHS L10 H	900	1000 1000 1000 1000 1000	1100 1100 1100 1100 1100 1100 1100	7	1300 1300 1300 1300 1300 1300 1300	1400 1400 1400 1400 1400	1500 1500 1500 1500 1500	4 4 4 0 0 0 0 3 3 4 4 6 6 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
606 607 608 HHS 17 701 701 707 707 708 708 708 709 707 707 707 708 808 809 809 809 809 809 809 809 809 8	900	1000 1000 1000 1000 1000	1100 1100 1100 1100 1100	7	1300 1300 1300 1300 1300 1300 1300 1300	1400 1400 1400 1400 1400	1500 1500 1500 1500 1500	TOTAL TOTAL 3 4 0 0 0 3 4 0 0 0 3 3 4 4 0 0 0 7 TOTAL TOTAL TOTAL TOTAL TOTAL TOTAL 4 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
606 607 608 HHS 17 701 701 707 707 708 708 708 708 808 808 808 808	900	1000 	1100 1100 1100 1100 1100 1100 1100 110	7	1300 1300 	1400 1400 1400 1400 1400 1400	1500 1500 1500 1500 1500	TOTAL 3 4 6 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7
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GENERAL NOTES:

- GENERAL NOTES:

 ALL WORKS TO COMEN WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF
 RELEVANT STATUTERY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN
 BUILDING STANDARDS

 CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMEXING WORK—SHOULD A
 DISCREPANTY BE DIEDTHERP LALES COMPRIM WITH ARCHITECT PROR TO PROCEEDING 100
 NOT SCALE FROM DRAWNOS!

 DRAWINGS FOR THE PURPOSES OF DA ONLY FURTHER CONSULTANT/ AUTHORITY
 COMMISSION WILL BE REQUIRED AT CC STAGE WHICH HAY HEACT ON DESIGN AND
 COPYRIGHT OF DESIGN SHOWN MEEDEN IS ETAINED BY PBD ARCHITECTS. AND AUTHORITY
 IS REQUIRED FOR ANY REPRODUCTION

LEGEND:

LEGEND:

AW AWNING

FH FIRE HYDRANT

FIRE PIDE HOSE REEL

FOR STARES

GO GATED DEAN TO HYDRAULIC ENGINEERS DETAILS

HL HEHLIGHT WINDOW

MA RODE HATCH ACCESS

MB MALDOX TO FUTURE DETAIL

MV MECHANICAL RISER TO FUTURE DETAIL

PB PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL

PS ELLIPTICAL PRIVACY SCREEN

R RECYCLING BIN

RW RENDERED WALL/ SELECTED PAINT FINISH

SK SKY LIGHT

ST STORAGE

AMENDMENTS NOTES:

- ENDMENTS NOTES:

 REVISED APARTMENTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION.

 NICORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NORTHERN SITE BOUNDARY.

 RELOCATED SUBSTATION.

 RELOCATED HYDRANT BOOSTERS.

 PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL SOWAARDS ALONG STANLEY LANE (WESTERN BOUNDARY).

 FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS.

 WIDEN BUILDING ENTRY/THRESHOLD.

 REVISED COMMUNAL GPEN SPACE AREA

 MICREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT ADDED PLANTER BOX IN FRONT OF UNIT 101

В	04.04.2018	REVISED DA
A	26.09.2017	ISSUE FOR DA
IOOUE	DATE	DECODIDATION

QUANTUM GROUP

NOVEMBER 2017

P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010

PROPOSED RESIDENTIAL DEVELOPMENT

58-68 REGENT STREET, KOGARAH

DRAWING TITLE:

SOLAR EYE VIEW JUNE 12PM - 1:30PM

SCALE: N.T.S. RAWING NO: DA602





SOLAR EYE VIEW - 2PM



SOLAR EYE VIEW - 3PM

190	HRS L1	900	1000	1100	1200	1300	1400	1500	TOTAL
190	101					1			
190	103						✓		5
197	105				1	1	1	1	0
190 Y. Y. Y. Y. Y. Y. Y. Y	107				/	1	✓	✓	3
1	109				√	1	√	-/	6
1									
1		900	1000	1100	1200	1300	1400	1500	TOTAL
1982	201								
100 100	203						√		5
100 100	205								0
190	207				V	✓	✓	✓	3
180	209	✓	1	1					
1					√ √			√ √	
1		900	1000	1100	1200	1300	1400	1500	TOTAL
1		-/	1	✓ /	V				3
1							V		
1									
1									
100 100	308	J	1	1	V	~	✓	✓	3
March 1900	310	1	1	1	V	✓	1	-/	6
Mathematical									
March Marc	L4					1300	1400	1500	
March Marc	402	1	/	1	/				4
March	404	1	1	1	1	1	1		0
Methods	406				1		1	1	3
MRS				1			_	_	
March Mar	410	1	/		1	4	1	1	6
1	411		√		✓				6
Section	L5					1300	1400	1500	
100 100	501 502					V			4
100 100	503 504								0
MRS	505								3
New York 1909	507			1	/	✓	✓	✓	6
1							1400	1500	
622	L6								
604	602					1			4
100 100 100 100 1200 1400 1500 1500 1701 170	604				-1	,			0
MRS	606	,	,		1	1	1	1	4
1	608								
701		900	1000	1100	1200	1300	1400	1500	TOTAL
733	701	1	1	1					
705	703	1	1	1	1	1			0
706	705							1	3
March Mar	707			V	1	1	1	1	6
1							•		
802	L8		1000		1200	1300	1400	1500	
833									
805	803								0
MRS	805			1					3
NRS	807			1	✓	√	✓	✓	6
1901									
902	L9					1300	1400	1300	
904	902								0
900	904				V	V	V .	V.	3
L10		V	1						
1901 V		900	1000	1100	1200	1300	1400	1500	TOTAL
1903	1001	1	1	1	1				
1005 V	1003								0
HRS 990 1900 1100 1200 1300 1400 1500 TOTAL	1005				V	√	✓		6
L11 102								√	
1101 V	L11	900	1000	1100	1200	1300	1400	1500	TOTAL
1103	1101 1102	1	1	1	1	1			
1100	1103				1	V	1	4	0
HRS 900 1000 1100 1200 1300 1400 1500 TOTAL 1201 1201 1300 1400 1500 TOTAL 1201	1105				1		✓		6
1201						1300		1500	
1202	L12								
(to living rooms and private open space) NO, OF UNITS IN TOTAL 9 No Bolar Access (to living rooms and private open space) Units receive sunlight for 2+ hours at mid writter	1201	√	1	V					
2+ hours at mid winter	1202				UNITS	RECEIVING			74 96
	1202	(to living roon	988						77%
Units receive sunlight for less	1202	(to living room No Solar Acci (to living room Units receive	ess is and private of sunlight for						77%

GENERAL NOTES:

- GENERAL NOTES:

 ALL WORRS TO COPEY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS

 CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMPRISING WORK—SHOULD A DISCREPARKY DE IDENTIFED LESSE CONFIRM WITH ARCHITECT PRIOR TO PROFECEING (DO NOT SCALE FROM DRAWINGS)

 DRAWINGS FOR THE PURPOSES OF DA ONLY FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CE STAGE WHICH MAY HERACT ON DESIGN AND COPYRIGHT OF DESIGN SHOWN MEEDEN IS FEATURED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION

LEGEND:

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R RECYCLING BIN

RW RENDERED WALL/ SELECTED PAINT FINISH

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AMENDMENTS NOTES:

- IENDMENTS NOTES:

 REVISED APAITHS LAYOUT, AREAS AND BALCONES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION.

 NICORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NOTHERN SITE BOUNDARY.

 RELICATED SUBSTATION.

 RELICATED HOYRANT BOOSTERS.

 PROVIDED ADDITIONAL BUILDING SEFBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS A LONG STANLEY LANE (WESTERN BOUNDARY).

 FURTHER SETBACK THE BALCONY LINE WITH CURYED TRANSITION.

 RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS.

 WIEN BUILDING ENTRY/THRESHOLD.

 REVISED COMMUNAL OPEN SPACE AREA.

 NICRASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT ADDED PLANTER BOX IN FRONT FOUNT 101

В	04.04.2018	REVISED DA
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

QUANTUM GROUP

P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010

PROPOSED RESIDENTIAL DEVELOPMENT

58-68 REGENT STREET, KOGARAH

NOVEMBER 2017

DRAWING TITLE: SOLAR EYE VIEW

JUNE 2PM - 3:30PM

SCALE: N.T.S. RAWING NO: DA603