



DA 000	COVER SHEET
DA 001	PROJECT SUMMARY
DA 002	DEMOLITION PLAN
DA 003	SITE ANALYSIS PLAN
DA 004	STREET CONTEXT PLAN
DA 010	SITE PLAN
DA 100	BASEMENT 3 PLAN
DA 101	BASEMENT 2 PLAN
DA 102	BASEMENT 1 PLAN
DA 103	LEVEL 1 PLAN (GROUND FLOOR)
DA 104	LEVEL 2 PLAN
DA 105	LEVEL 3 PLAN
DA 106	LEVEL 4 PLAN
DA 107	LEVEL 5 PLAN
DA 108	LEVEL 6 PLAN
DA 109	LEVEL 7 PLAN
DA 110	LEVEL 8 PLAN
DA 111	LEVEL 9 PLAN
DA 112	LEVEL 10-11 PLAN
DA 113	LEVEL 12 PLAN
DA 114	ROOF PLAN

DA 201	ELEVATION - SOUTH
DA 202	ELEVATION - WEST
DA 203	ELEVATION - NORTH
DA 204	ELEVATION - EAST

DA 301	SECTION 01
DA 302	SECTION 02 - DRIVEWAY SECTION

DA 401-402	MATERIAL SCHEDULE
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DA 411-413	PHOTOMONTAGE
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DA 501-502	GFA DIAGRAM
DA 510	DEEP SOIL DIAGRAM
DA 520	COMMUNAL OPEN SPACE DIAGRAM
DA 531-532	NATURAL VENTILATION DIAGRAM
DA 541-542	APARMENT MIX DIAGRAM
DA 551-553	PRIVATE OPEN SPACE DIAGRAM
DA 561-563	STORAGE DIAGRAM

DA 601-603	SOLAR EYE VIEW
DA 610	SHADOW DIAGRAM
DA 621-622	3D SUN STUDY - WEST BOUNDARY

DA 801	ADAPTABLE & LIVABLE LAYOUT - TYPE A
DA 802	ADAPTABLE & LIVABLE LAYOUT - TYPE B
DA 803	LIVABLE LAYOUT - TYPE C, D & E

AREA SCHEDULE

Level	Unit No.	Type	Unit Area (m2)	Terrace/ Balcony (m2)	Unit Storage (m3)	Basement Storage (m3)	Total Storage (m3)	Adaptable Unit	Livable Unit
Level 1	101	1 bed	55	8	4	4	8		✓
	102	1 bed	56	8	4	4	8	✓	✓
	103	2 bed	84	9+8	5	5	10		✓
	104	2 bed	75	28	4	4	8		
	105	2 bed	75	23	4	4	8		
	106	2 bed	75	29	4	4	8		
	107	2 bed	75	18	4	4	8		
	108	2 bed	75	18	4	4	8		
	109	2 bed	79	13	4	4	8		✓
	110	1 bed	54	18	6	0	6		
	111	2 bed	81	28	4	4	8		
Level 2	201	1 bed	55	10	4	4	8	✓	✓
	202	1 bed	56	11	4	4	8	✓	✓
	203	2 bed	80	12+8	5	5	10		✓
	204	2 bed	75	28	4	4	8		
	205	2 bed	75	15	4	4	8		
	206	2 bed	75	31	4	4	8		
	207	2 bed	75	10+4	4	4	8		
	208	2 bed	75	10+4	4	4	8		
	209	2 bed	78	12	4	4	8		✓
	210	1 bed	51	9	6	0	6		
	211	2 bed	81	22	4	4	8		
Level 3	301	1 bed	55	10	4	4	8	✓	✓
	302	1 bed	56	11	4	4	8	✓	✓
	303	2 bed	80	12+8	5	5	10		✓
	304	2 bed	75	28	4	4	8		
	305	2 bed	75	20	4	4	8		
	306	2 bed	75	31	4	4	8		
	307	2 bed	75	10+4	4	4	8		
	308	2 bed	75	10+4	4	4	8		
	309	2 bed	78	12	4	4	8		✓
	310	1 bed	51	9	6	0	6		
	311	2 bed	81	22	4	4	8		
Level 4	401	1 bed	55	10	4	4	8	✓	✓
	402	1 bed	56	11	4	4	8	✓	✓
	403	2 bed	80	12+8	5	5	10		✓
	404	2 bed	75	28	4	4	8		
	405	2 bed	75	23	4	4	8		
	406	2 bed	75	31	4	4	8		
	407	2 bed	75	10+4	4	4	8		
	408	2 bed	75	10+4	4	4	8		
	409	2 bed	78	12	4	4	8		✓
	410	1 bed	51	9	6	0	6		
	411	2 bed	81	22	4	4	8		
Level 5	501	1 bed	54	10	6	6	12	✓	✓
	502	2 bed	75	12	4	4	8		
	503	2 bed	79	28	4	4	8		
	504	2 bed	75	23	4	4	8		
	505	2 bed	77	31	4	4	8		
	506	2 bed	75	10	4	4	8		
	507	3 bed	104	20	6	0	6		
	508	3 bed	95	18	5	5	10		
	601	1 bed	54	10	6	6	12	✓	✓
	602	2 bed	75	12	4	4	8		
	603	2 bed	79	28	4	4	8		
Level 6	604	2 bed	75	23	4	4	8		
	605	2 bed	77	31	4	4	8		
	606	2 bed	75	10	4	4	8		
	607	3 bed	104	20	6	0	6		
	608	3 bed	95	18	5	5	10		
	701	1 bed	54	10	6	6	12		✓
	702	2 bed	75	12	4	4	8		
	703	2 bed	79	25	4	4	8		
	704	2 bed	75	23	4	4	8		
	705	2 bed	77	31	4	4	8		
	706	2 bed	75	10	4	4	8		
Level 7	707	3 bed	104	20	6	0	6		
	708	3 bed	95	18	5	5	10		
	801	1 bed	54	10	6	6	12		✓
	802	2 bed	75	12	4	4	8		
	803	2 bed	79	22	4	4	8		
	804	2 bed	75	23	4	4	8		
	805	2 bed	77	31	4	4	8		
	806	2 bed	75	10	4	4	8		
	807	3 bed	104	20	6	0	6		
	808	3 bed	95	18	5	5	10		
	901	2 bed	78	25	4	4	8		
Level 9	902	2 bed	75	11	7	7	14		
	903	2 bed	76	14	6	6	12		
	904	2 bed	76	31	4	4	8		
	905	2 bed	75	10	4	4	8		
	906	3 bed	115	76	12	0	12		
	1001	2 bed	78	25	4	4	8		
	1002	2 bed	75	11	7	7	14		
	1003	2 bed	76	14	6	6	12		
	1004	2 bed	76	31	4	4	8		
	1005	2 bed	75	10	4	4	8		
	1006	3 bed	115	46	12	0	12		
Level 11	1101	2 bed	78	25	4	4	8		
	1102	2 bed	75	11	7	7	14		
	1103	2 bed	76	14	6	6	12		
	1104	2 bed	76	31	4	4	8		
	1105	2 bed	75	10	4	4	8		
	1106	3 bed	115	46	12	0	12		
	1201	2 bed	76	31	4	4	8		
	1202	2 bed	81	12+12	4	4	8		

- GENERAL NOTES:
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LEGEND:

AW	AWNING
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
GD	GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
HL	HIGHLIGHT WINDOW
HA	ROOF HATCH ACCESS
MB	MAILBOX TO FUTURE DETAIL
MV	MECHANICAL RISER TO FUTURE DETAIL
PB	PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS	ELLIPTICAL PRIVACY SCREEN
R	RECYCLING BIN
RW	RENDERED WALL/ SELECTED PAINT FINISH
SK	SKY LIGHT
ST	STORAGE

- AMENDMENTS NOTES:
- REVISED APARTMENTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION
  - INCORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NORTHERN SITE BOUNDARY.
  - RELOCATED SUBSTATION
  - RELOCATED HYDRANT BOOSTERS
  - PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY).
  - FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION
  - RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
  - WIDEN BUILDING ENTRY /THRESHOLD
  - REVISED COMMUNAL OPEN SPACE AREA
  - INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
  - ADDED PLANTER BOX IN FRONT OF UNIT 101

E	04.04.2018	REVISED DA
D	11.12.2017	UNIT AREAS REVISED
C	21.11.2017	DRAWING FOR BASEMENT 3 ADDED
B	27.10.2017	ISSUE FOR DA
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

CLIENT:  
QUANTUM GROUP

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PROJECT:  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
**COVER SHEET**

SCALE: N/A	DRAWING NO: <b>DA000</b>
PROJECT NO: 1728	

PROJECT INFORMATION

58-68 Regent Street, Kogarah	
Site Area	2016 sqm
Allowable FSR	Proposed 4 : 1 = 8064 sqm
Zoning	Proposed: R4 - High Density Residential
Height Control	Proposed: 33m

UNIT MIX - 96 UNITS

Level	Bed: 1	Bed: 2	Bed: 3	Total
LEVEL 1 (GROUND LEVEL)	3	8	0	11
LEVEL 2-4	9	24	0	33
LEVEL 5-8	4	20	8	32
LEVEL 9-11	0	15	3	18
LEVEL 12	0	2	0	2
TOTAL	16	69	11	96
	17%	72%	11%	

CAR PARKING - RMS Rates

	Minimum Rate	No. of Units	Minimum allowed	Proposed
<b>Residential</b>				
1 Bed	0.4 per unit	16	6.4	16
2 Bed	0.7 per unit	69	48.3	77
3 Bed	1.2 per unit	11	13.2	22
			<b>67.9</b>	<b>115</b>
Visitor	1 per 7 units	96	<b>13.7</b>	<b>14</b>
TOTAL			<b>81.6</b>	<b>129</b>
Accessible	10% of apartments	96	9.6	10

BICYCLE REQUIREMENTS

	Rate	No. of Units / Area	Required	Proposed
<b>Bicycle</b>				
Residential	1 per 3 unit	96 units	32	32
Visitor	1 per 10 unit	96 units	9.6	10
TOTAL			<b>41.6</b>	<b>42</b>

GFA

Level	Area
LEVEL 1 (GROUND LEVEL)	868
LEVEL 2-4	2562
LEVEL 5-8	2768
LEVEL 9-11	1668
LEVEL 12	195
Total	<b>8061</b>

FSR = 4:1

OTHER REQUIREMENTS

	ADG Req	Required	Proposed
Deep Soil	7% of the site	> 141 sqm	163 sqm = 8%
Communal Open Space	25% of the site	> 504 sqm	550 sqm = 27%
Adaptable Dwellings	10% of total number of dwellings	9.6 units	10 units
Livable Dwellings	20% of total number of dwellings	19.2 units	20 units = 21%
Solar Access	70% of total number of dwellings	> 67.2 units	74 units = 77%
Cross Ventilation	60% of total number of dwellings	> 57.6 units	58 units = 60%
Single South Facing Units	15% of total number of dwellings	< 14.4 units	14 units = 15%

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  - ADDED PLANTER BOX IN FRONT OF UNIT 101

D	04.04.2017	REVISED DA
C	11.12.2017	UNIT AREAS RVISED
B	21.11.2017	REVISED PROPOSED PARKING BAYS
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

CLIENT:  
**QUANTUM GROUP**

ARCHITECT:

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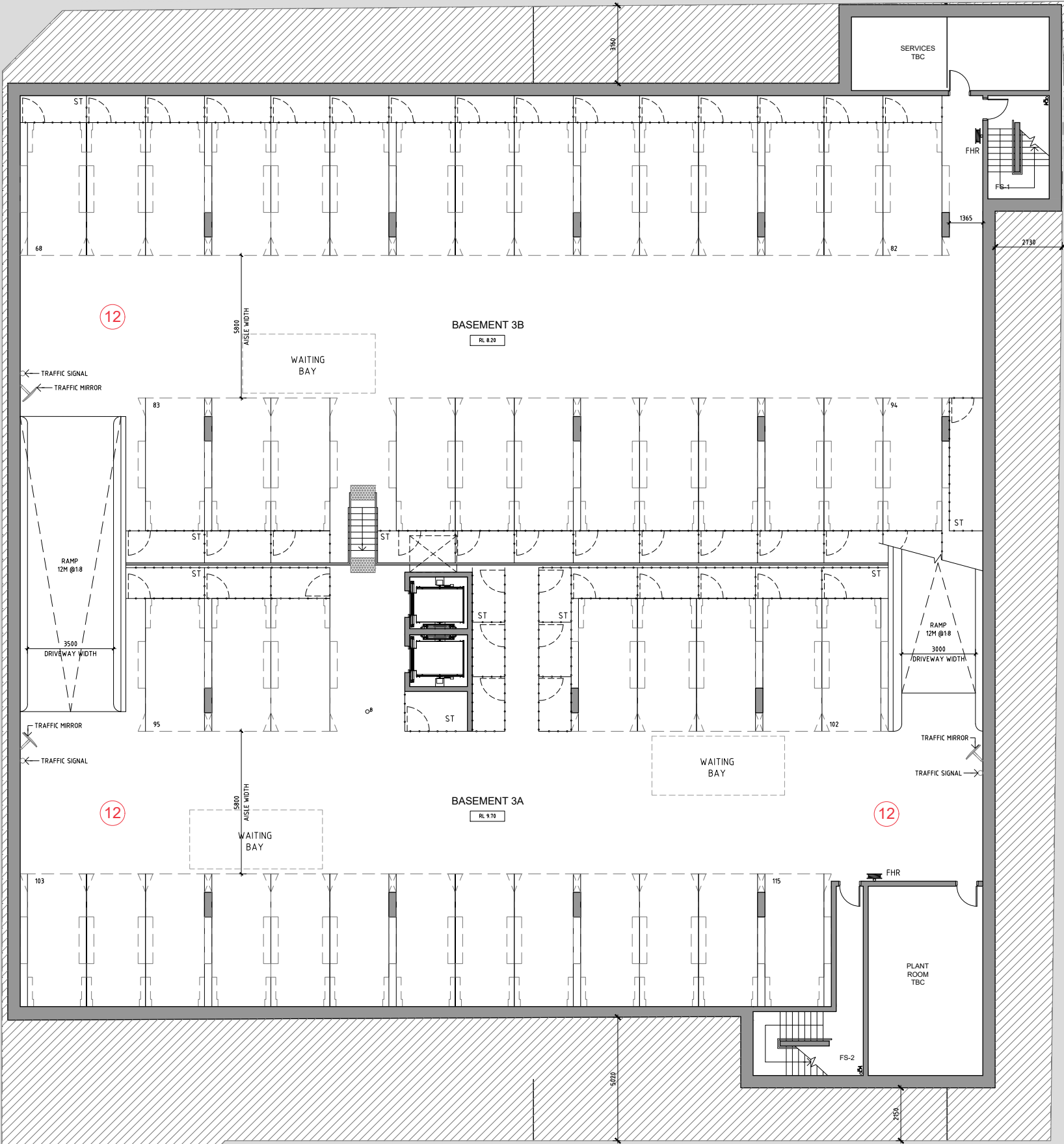
PROJECT:  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
**58-68 REGENT STREET, KOGARAH**  

NOVEMBER 2017

DRAWING TITLE:  
**PROJECT SUMMARY**

SCALE:  
N/A  
PROJECT NO:  
1728

DRAWING NO:  
**DA001**



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| HL  | HIGHLIGHT WINDOW                                    |
| HA  | ROOF HATCH ACCESS                                   |
| MB  | MAILBOX TO FUTURE DETAIL                            |
| MV  | MECHANICAL RISER TO FUTURE DETAIL                   |
| PB  | PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL |
| PS  | ELLIPTICAL PRIVACY SCREEN                           |
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  - ADDED TRAFFIC MANAGEMENT SYSTEM IN BASEMENT LEVELS

B	03.05.2018	ADDED TRAFFIC MANAGEMENT SYSTEM
A	21.11.2017	BASEMENT 3 ADDED
ISSUE	DATE	DESCRIPTION



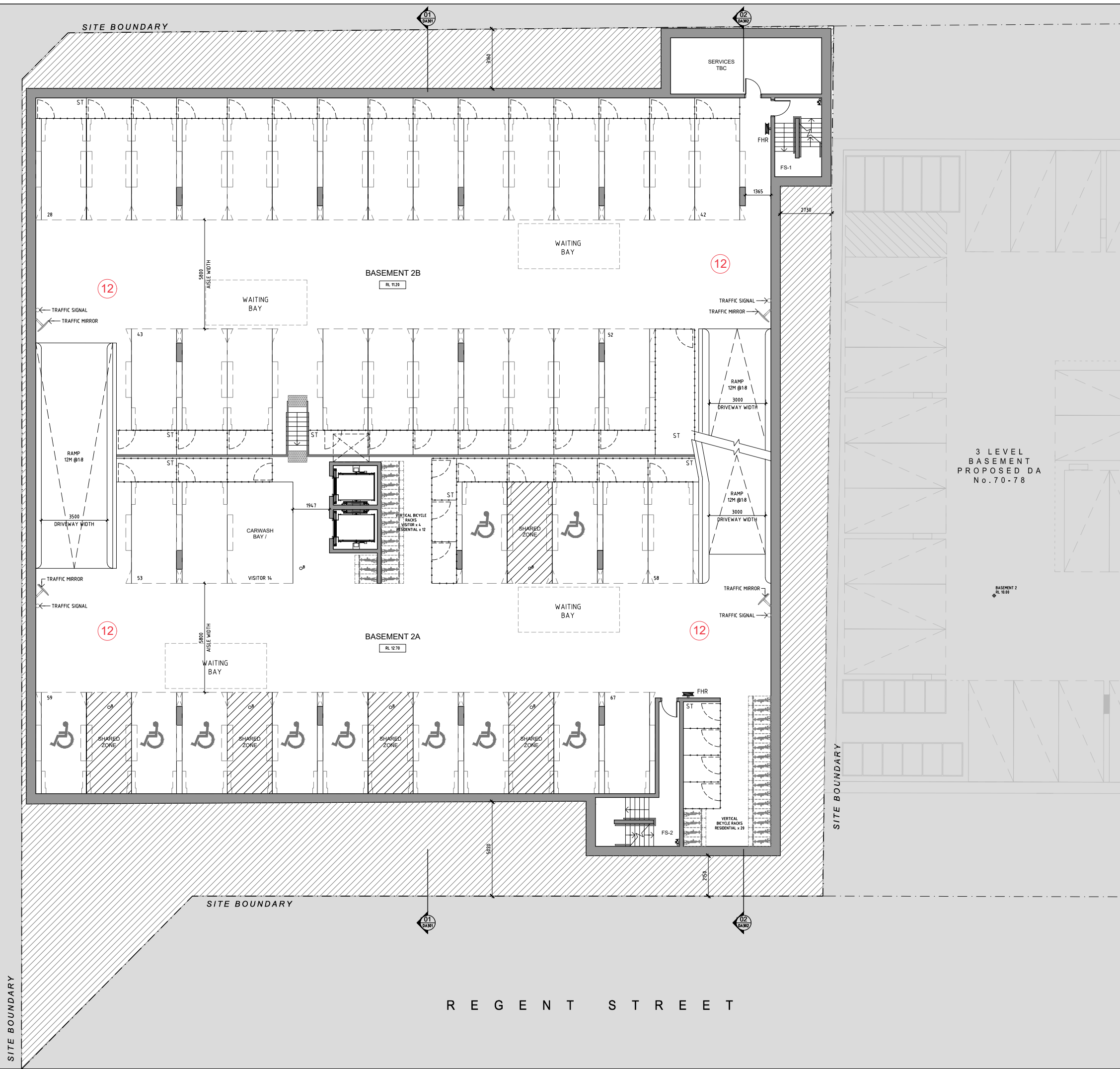
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PROJECT:  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
**BASEMENT LEVEL 3 PLAN**

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: <b>DA100</b>
PROJECT NO: 1728	



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- ADDED PLANTER BOX IN FRONT OF UNIT 101
- ADDED TRAFFIC MANAGEMENT SYSTEM IN BASEMENT LEVELS

ISSUE	DATE	DESCRIPTION
C	03.05.2018	ADDED TRAFFIC MANAGEMENT SYSTEM
B	21.11.2017	NEW STAIR & RAMP DOWN TO B3
A	26.09.2017	ISSUE FOR DA



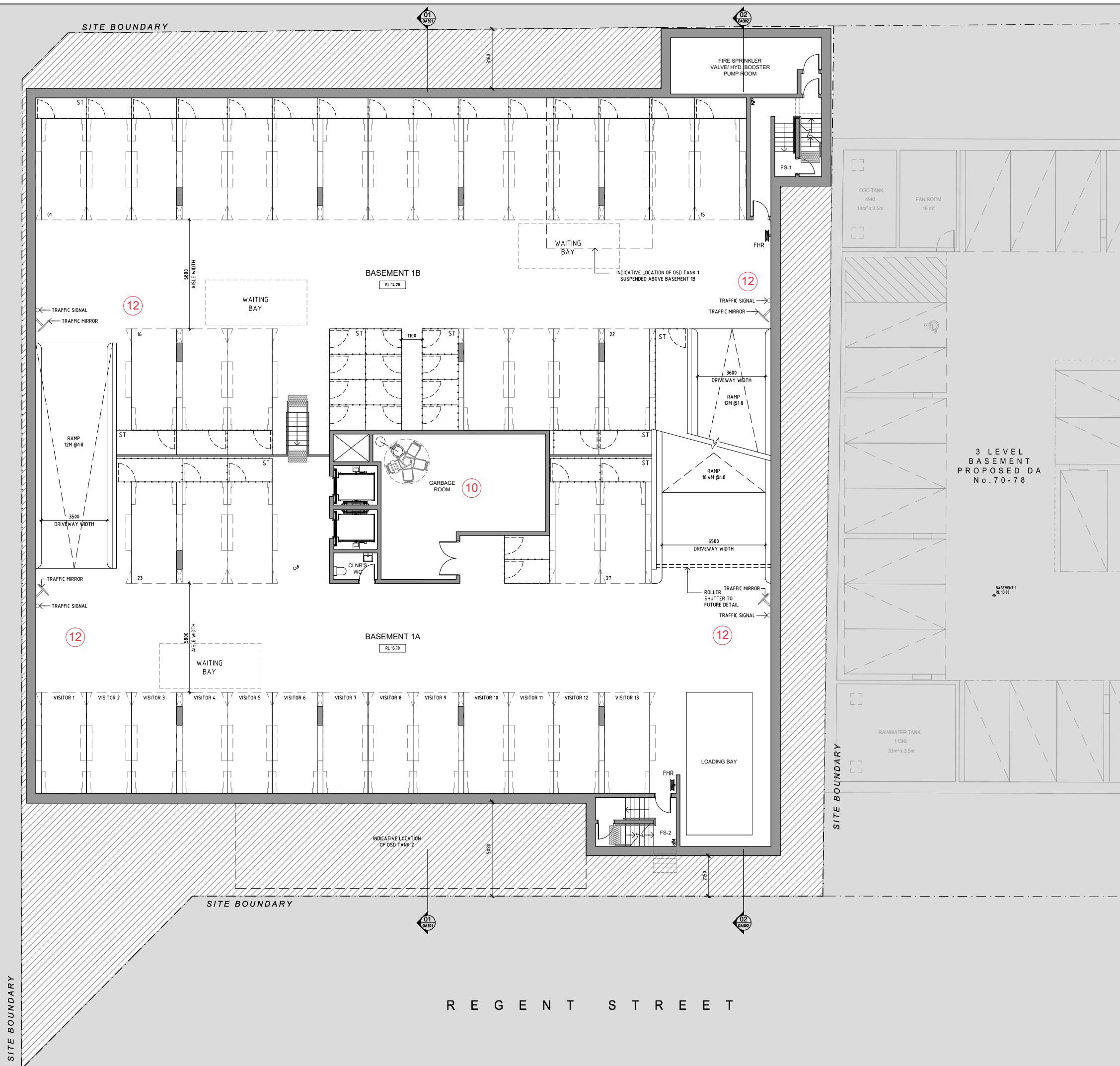
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
BASEMENT LEVEL 2 PLAN

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: DA101
PROJECT NO: 1728	



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ISSUE	DATE	DESCRIPTION
C	03.05.2018	ADDED TRAFFIC MANAGEMENT SYSTEM
B	04.04.2018	REVISED DA
A	26.09.2017	ISSUE FOR DA



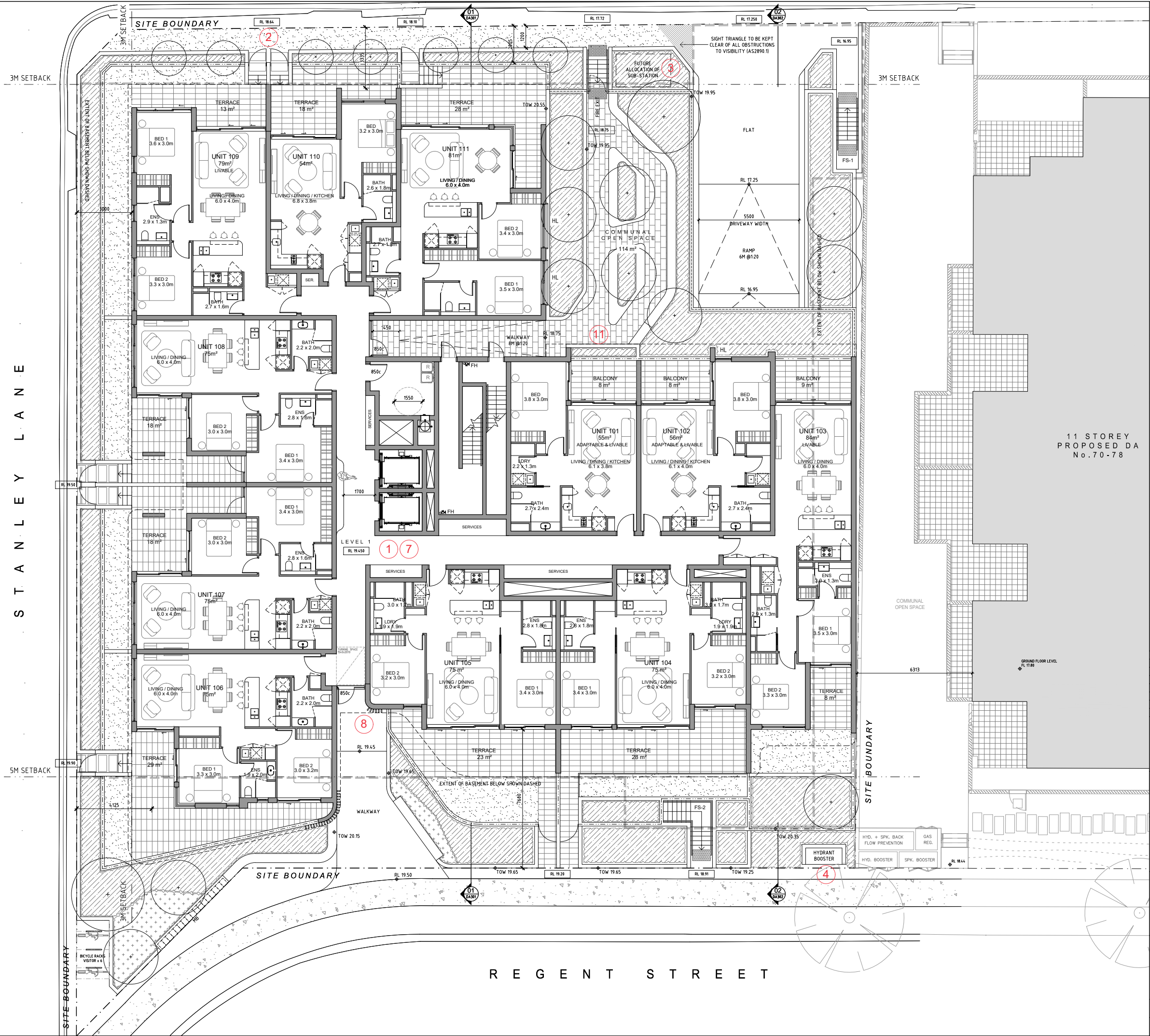
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
BASEMENT LEVEL 1 PLAN

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: DA102
PROJECT NO: 1728	



GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. SHOULD A DISCREPANCY BE IDENTIFIED PLEASE CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE FROM DRAWINGS)
- DRAWINGS FOR THE PURPOSES OF DA ONLY - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION

LEGEND:

AW	AWNING
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
GD	GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
HL	HIGHLIGHT WINDOW
HA	ROOF HATCH ACCESS
MB	MAILBOX TO FUTURE DETAIL
MV	MECHANICAL RISER TO FUTURE DETAIL
PB	PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS	RECYCLING BIN
R	RENDERED WALL/ SELECTED PAINT FINISH
SK	SKY LIGHT
ST	STORAGE

AMENDMENTS NOTES:

- REVISED APARTMENTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION
- INCORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NORTHERN SITE BOUNDARY
- RELOCATED SUBSTATION
- RELOCATED HYDRANT BOOSTERS
- PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY)
- FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
- WIDEN BUILDING ENTRY / THRESHOLD
- REVISED COMMUNAL OPEN SPACE AREA
- INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
- ADDED PLANTER BOX IN FRONT OF UNIT 101

C	04.04.2018	REVISED DA
B	11.12.2017	UNIT AREAS REVISED
A	26.09.2017	ISSUE FOR DA
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH

NOVEMBER 2017

DRAWING TITLE:  
LEVEL 1 PLAN  
(GROUND FLOOR)

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: DA103
PROJECT NO: 1728	



GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

AW	AWNING
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
GD	GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
HL	HIGHLIGHT WINDOW
MA	ROOF HATCH ACCESS
MB	MAILBOX TO FUTURE DETAIL
MV	MECHANICAL RISER TO FUTURE DETAIL
PB	PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS	ELLIPTICAL PRIVACY SCREEN
R	RECYCLING BIN
RW	RENDERED WALL/ SELECTED PAINT FINISH
SK	SKY LIGHT
ST	STORAGE

AMENDMENTS NOTES:

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- RELOCATED SUBSTATION
- RELOCATED HYDRANT BOOSTERS
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- FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION
- RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
- WIDEN BUILDING ENTRY/THRESHOLD
- REVISED COMMUNAL OPEN SPACE AREA
- INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
- ADDED PLANTER BOX IN FRONT OF UNIT 101

C	04.04.2018	REVISED DA
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PROJECT:  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
**LEVEL 2 PLAN**

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: <b>DA104</b>
PROJECT NO: 1728	



GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

AW	AWNING
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
GD	GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
HL	HIGHLIGHT WINDOW
MA	ROOF HATCH ACCESS
MB	MAILBOX TO FUTURE DETAIL
MV	MECHANICAL RISER TO FUTURE DETAIL
PB	PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS	ELLIPTICAL PRIVACY SCREEN
R	RECYCLING BIN
RW	RENDERED WALL/ SELECTED PAINT FINISH
SK	SKY LIGHT
ST	STORAGE

AMENDMENTS NOTES:

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- INCORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NORTHERN SITE BOUNDARY.
- RELOCATED SUBSTATION
- RELOCATED HYDRANT BOOSTERS
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- FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION
- RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
- WIDEN BUILDING ENTRY /THRESHOLD
- REVISED COMMUNAL OPEN SPACE AREA
- INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
- ADDED PLANTER BOX IN FRONT OF UNIT 101

C	04.04.2018	REVISED DA
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PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
LEVEL 3 PLAN

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: DA105
PROJECT NO: 1728	



GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

AW	AWNING
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
GD	GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
HL	HIGHLIGHT WINDOW
MA	ROOF HATCH ACCESS
MB	MAILBOX TO FUTURE DETAIL
MV	MECHANICAL RISER TO FUTURE DETAIL
PB	PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS	ELLIPTICAL PRIVACY SCREEN
R	RECYCLING BIN
RW	RENDERED WALL/ SELECTED PAINT FINISH
SK	SKY LIGHT
ST	STORAGE

AMENDMENTS NOTES:

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- WIDEN BUILDING ENTRY /THRESHOLD
- REVISED COMMUNAL OPEN SPACE AREA
- INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
- ADDED PLANTER BOX IN FRONT OF UNIT 101

C	04.04.2018	REVISED DA
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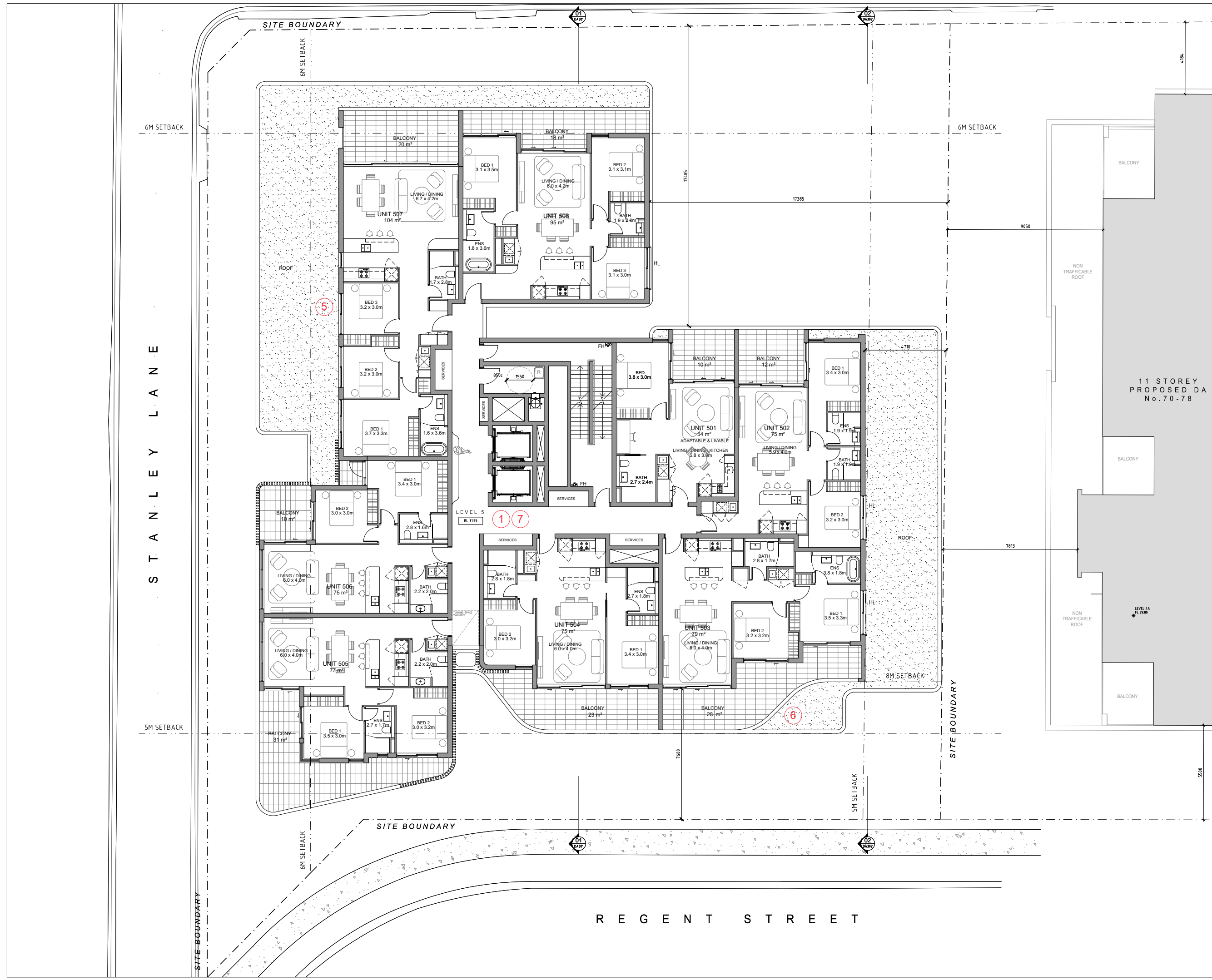
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PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
LEVEL 4 PLAN

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: DA106
PROJECT NO: 1728	



**GENERAL NOTES:**

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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**LEGEND:**

AW	AWNING
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
GD	GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
HL	HIGHLIGHT WINDOW
MA	ROOF HATCH ACCESS
MB	MAILBOX TO FUTURE DETAIL
MV	MECHANICAL RISER TO FUTURE DETAIL
PB	PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS	ELLIPTICAL PRIVACY SCREEN
R	RECYCLING BIN
RW	RENDERED WALL/ SELECTED PAINT FINISH
SK	SKY LIGHT
ST	STORAGE

**AMENDMENTS NOTES:**

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- WIDEN BUILDING ENTRY /THRESHOLD
- REVISED COMMUNAL OPEN SPACE AREA
- INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
- ADDED PLANTER BOX IN FRONT OF UNIT 101

C	04.04.2018	REVISED DA
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PROJECT:  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
58-68 REGENT STREET, KOGARAH

NOVEMBER 2017

DRAWING TITLE:  
**LEVEL 5 PLAN**

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: <b>DA107</b>
PROJECT NO: 1728	



GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

AW	AWNING
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
GD	GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
HL	HIGHLIGHT WINDOW
MA	ROOF HATCH ACCESS
MB	MAILBOX TO FUTURE DETAIL
MV	MECHANICAL RISER TO FUTURE DETAIL
PB	PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS	ELLIPTICAL PRIVACY SCREEN
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RW	RENDERED WALL/ SELECTED PAINT FINISH
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AMENDMENTS NOTES:

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- WIDEN BUILDING ENTRY /THRESHOLD
- REVISED COMMUNAL OPEN SPACE AREA
- INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
- ADDED PLANTER BOX IN FRONT OF UNIT 101

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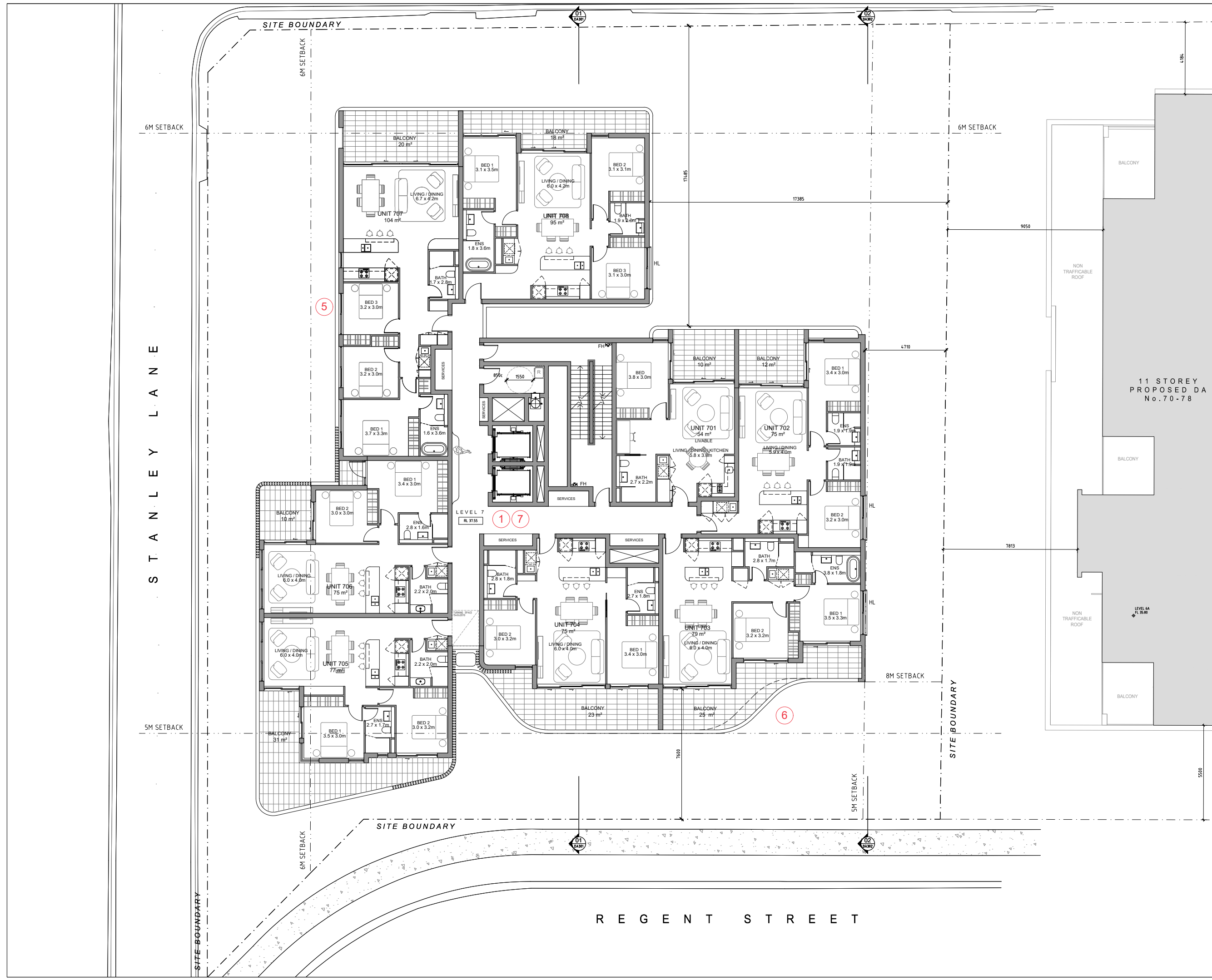
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
LEVEL 6 PLAN

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: DA108
PROJECT NO: 1728	



- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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- LEGEND:
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  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - GC GARBAGE CHUTE
  - GD GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
  - HL HIGHLIGHT WINDOW
  - MA ROOF HATCH ACCESS
  - MB MAILBOX TO FUTURE DETAIL
  - MV MECHANICAL RISER TO FUTURE DETAIL
  - PB PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
  - PS ELLIPTICAL PRIVACY SCREEN
  - R RECYCLING BIN
  - RW RENDERED WALL/ SELECTED PAINT FINISH
  - SK SKY LIGHT
  - ST STORAGE

- AMENDMENTS NOTES:
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  - WIDEN BUILDING ENTRY /THRESHOLD
  - REVISED COMMUNAL OPEN SPACE AREA
  - INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
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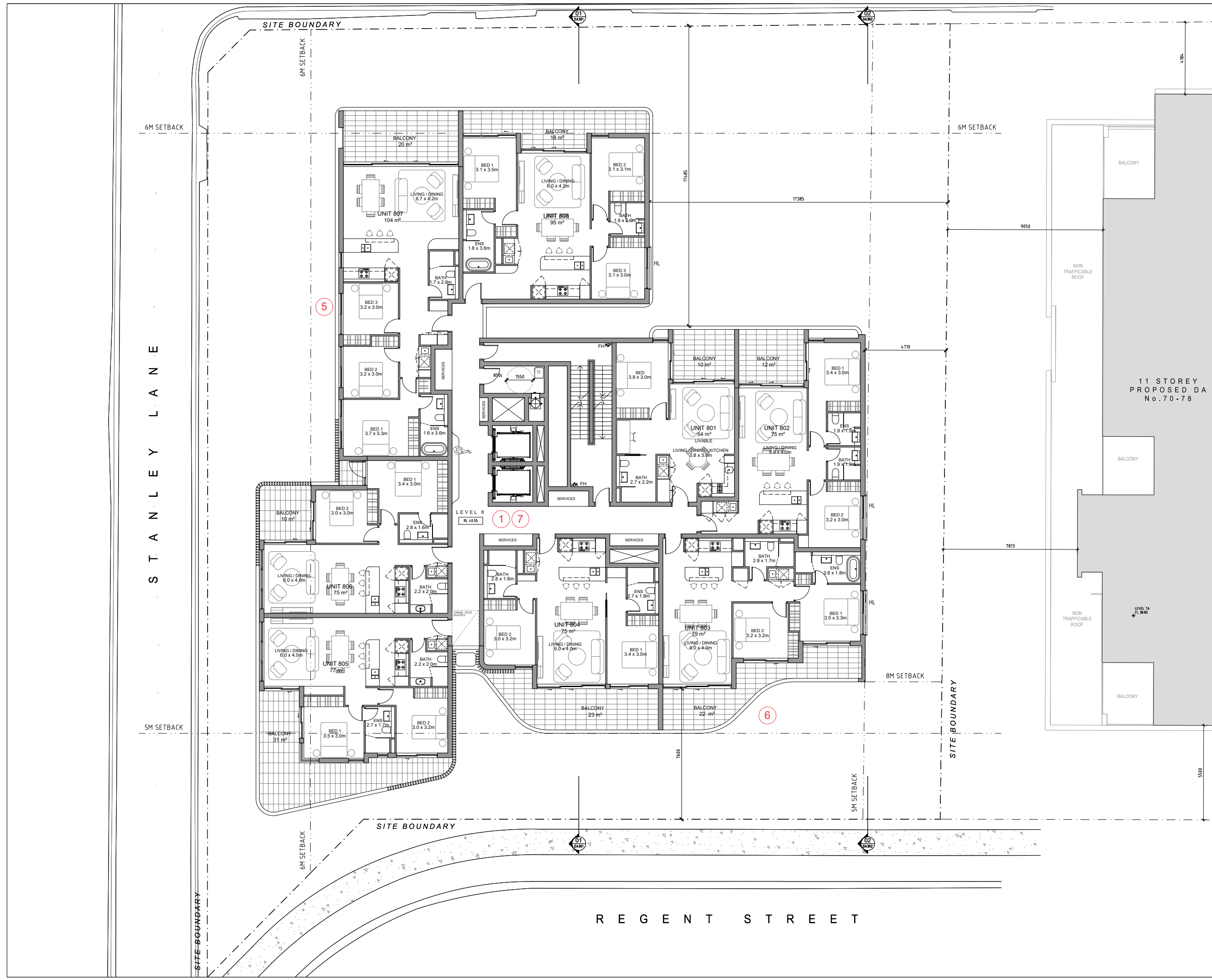
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PROJECT:  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
**LEVEL 7 PLAN**

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: <b>DA109</b>
PROJECT NO: 1728	



**GENERAL NOTES:**

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HL	HIGHLIGHT WINDOW
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**AMENDMENTS NOTES:**

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- REVISED COMMUNAL OPEN SPACE AREA
- INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
- ADDED PLANTER BOX IN FRONT OF UNIT 101

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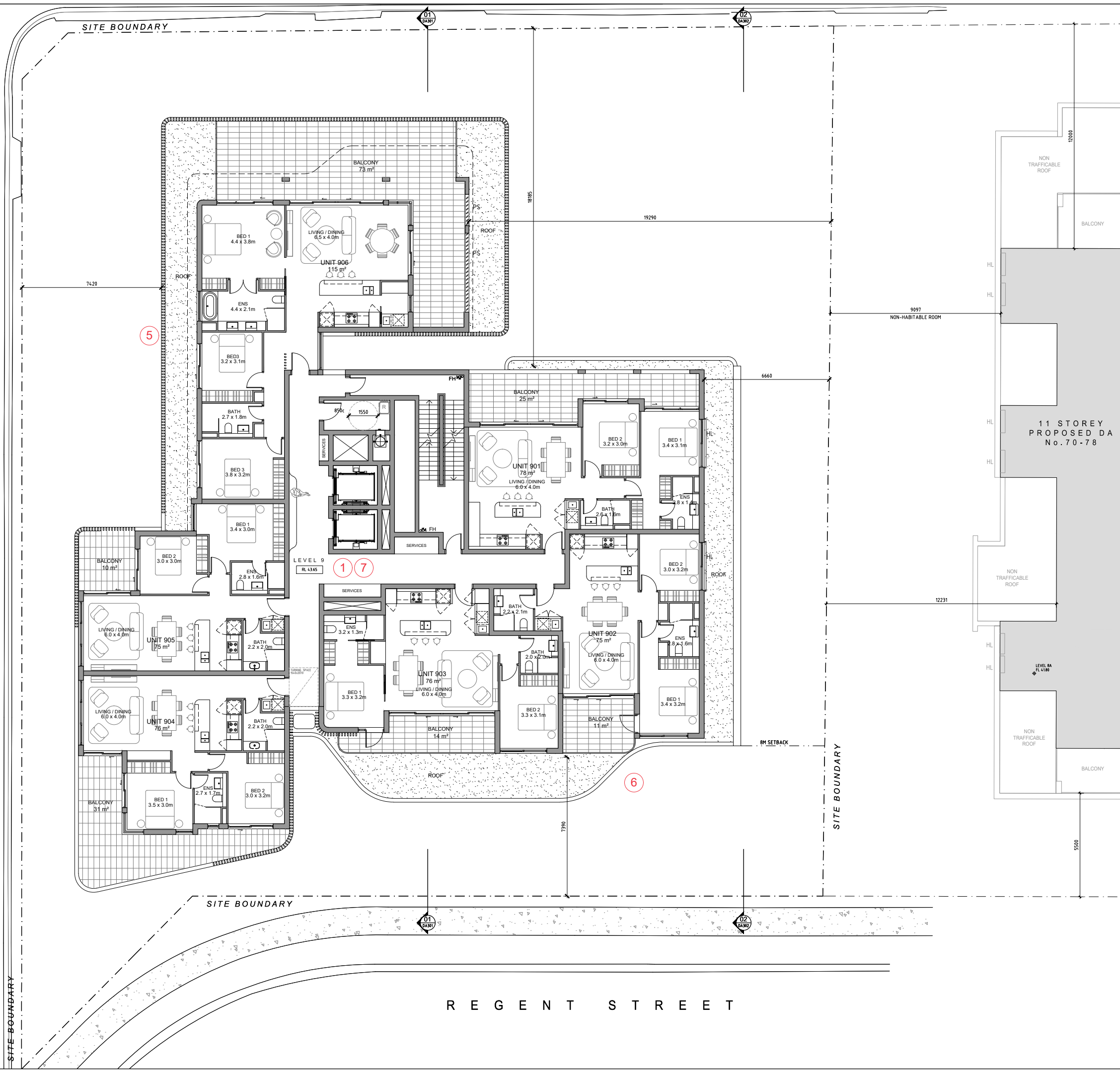
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PROJECT:  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
**58-68 REGENT STREET, KOGARAH**

NOVEMBER 2017

DRAWING TITLE:  
**LEVEL 8 PLAN**

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: <b>DA110</b>
PROJECT NO: 1728	



GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK- SHOULD A DISCREPANCY BE IDENTIFIED PLEASE CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE FROM DRAWINGS)
- DRAWINGS FOR THE PURPOSES OF DA ONLY - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION

LEGEND:

AW	AWNING
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
GD	GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
HL	HIGHLIGHT WINDOW
MA	ROOF HATCH ACCESS
MB	MAILBOX TO FUTURE DETAIL
MV	MECHANICAL RISER TO FUTURE DETAIL
PB	PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS	RECYCLING BIN
R	RENDERED WALL/ SELECTED PAINT FINISH
SK	SKY LIGHT
ST	STORAGE

AMENDMENTS NOTES:

- REVISED APARTMENTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION
- INCORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NORTHERN SITE BOUNDARY
- RELOCATED SUBSTATION
- RELOCATED HYDRANT BOOSTERS
- PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY)
- FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
- WIDEN BUILDING ENTRY /THRESHOLD
- REVISED COMMUNAL OPEN SPACE AREA
- INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
- ADDED PLANTER BOX IN FRONT OF UNIT 101

C	04.04.2018	REVISED DA
B	11.12.2017	UNIT AREAS REVISED
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



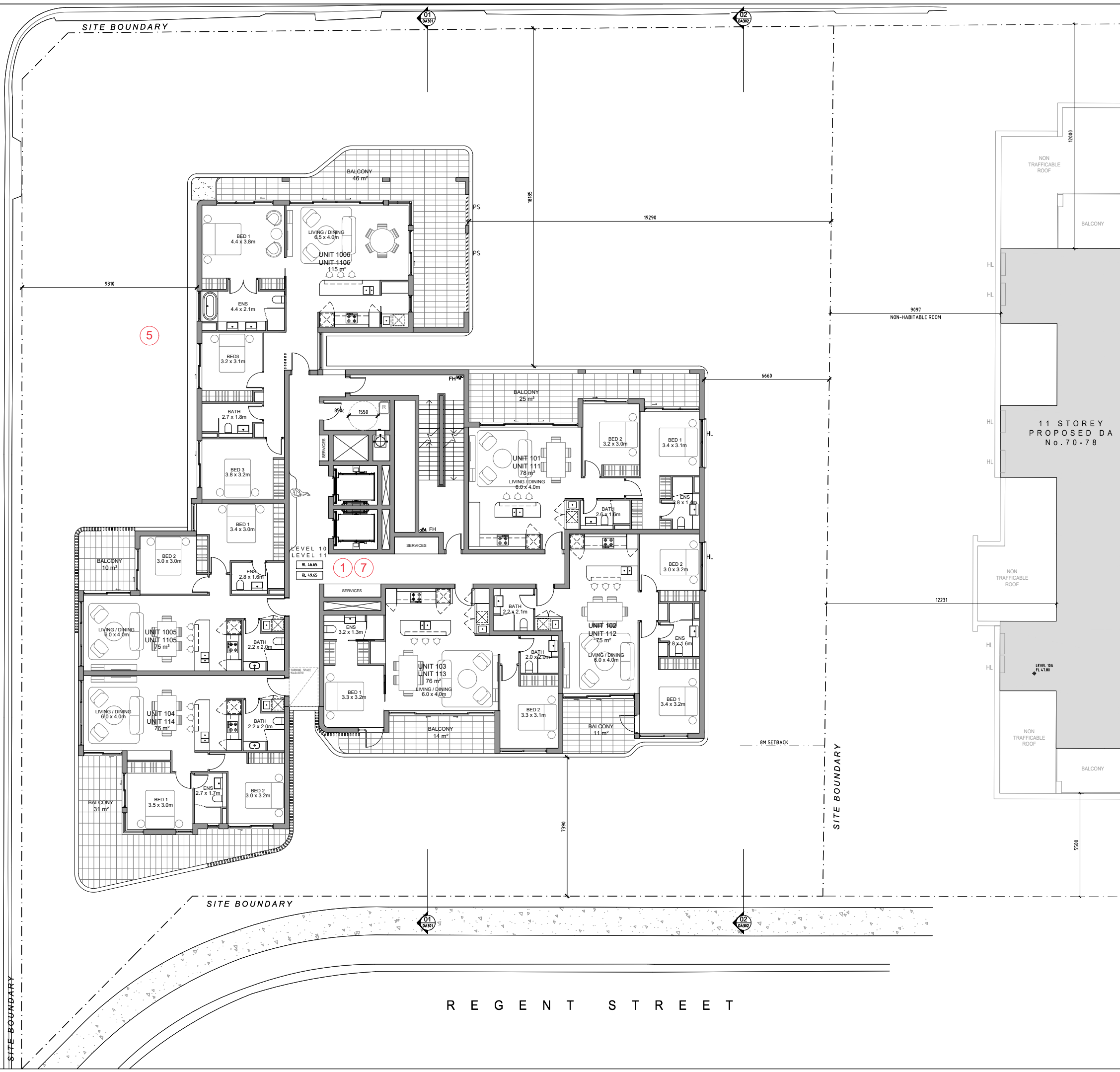
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QUANTUM GROUP

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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
LEVEL 9 PLAN

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: DA111
PROJECT NO: 1728	



- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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- LEGEND:
- AW AWNING
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - GC GARBAGE CHUTE
  - GD GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
  - HL HIGHLIGHT WINDOW
  - MA ROOF HATCH ACCESS
  - MB MAILBOX TO FUTURE DETAIL
  - MV MECHANICAL RISER TO FUTURE DETAIL
  - PB PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
  - PS ELLIPTICAL PRIVACY SCREEN
  - R RECYCLING BIN
  - RW RENDERED WALL/ SELECTED PAINT FINISH
  - SK SKY LIGHT
  - ST STORAGE

- AMENDMENTS NOTES:
- REVISED APARTMENTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION
  - INCORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NORTHERN SITE BOUNDARY
  - RELOCATED SUBSTATION
  - RELOCATED HYDRANT BOOSTERS
  - PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY)
  - FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
  - WIDEN BUILDING ENTRY /THRESHOLD
  - REVISED COMMUNAL OPEN SPACE AREA
  - INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
  - ADDED PLANTER BOX IN FRONT OF UNIT 101

C	04.04.2018	REVISED DA
B	11.12.2017	UNIT AREAS REVISED
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



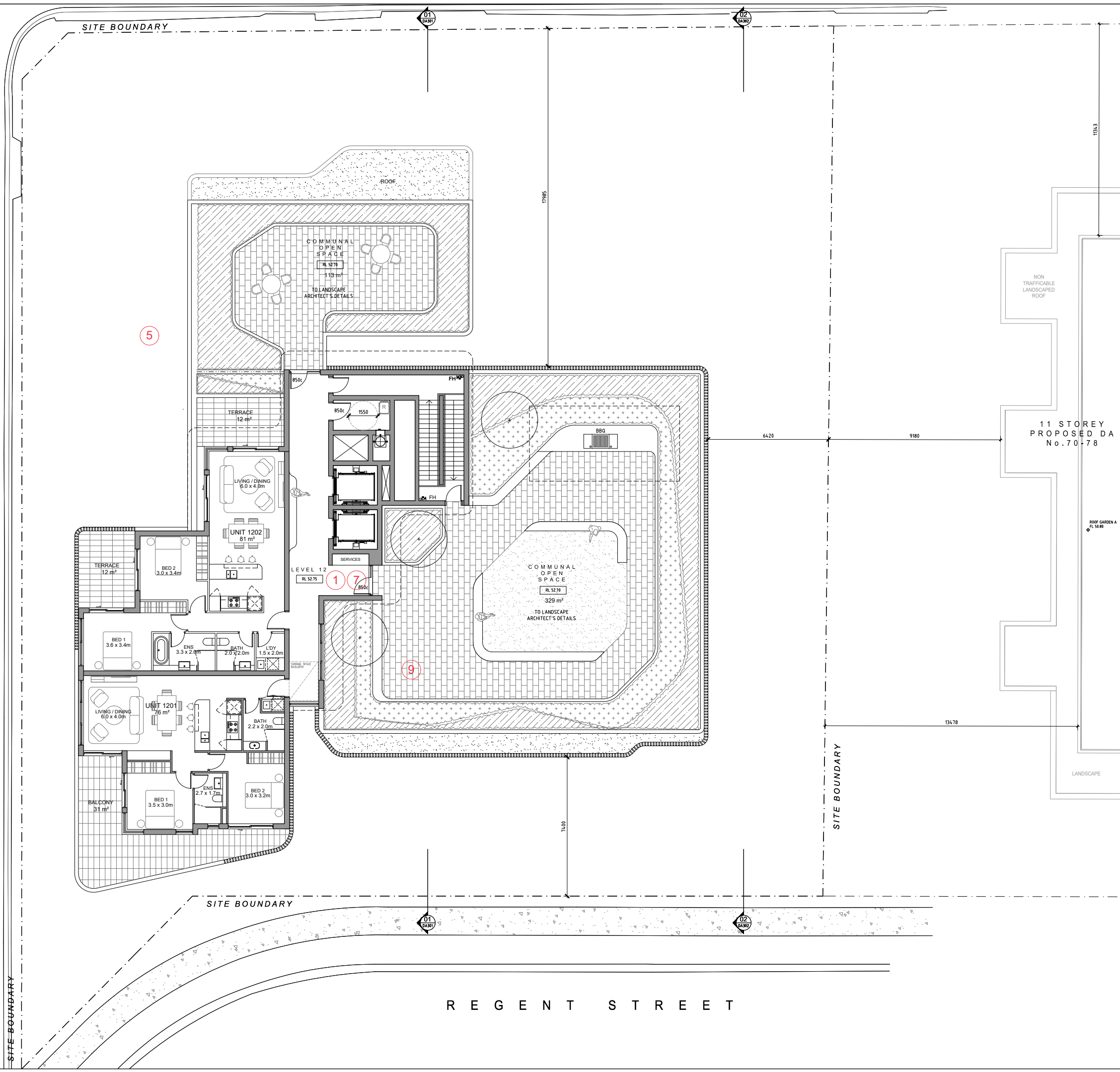
CLIENT:  
QUANTUM GROUP

ARCHITECT:  
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
**LEVEL 10-11 PLAN**

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: <b>DA112</b>
PROJECT NO: 1728	



GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

AW	AWNING
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
GD	GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
HL	HIGHLIGHT WINDOW
MA	ROOF HATCH ACCESS
MB	MAILBOX TO FUTURE DETAIL
MV	MECHANICAL RISER TO FUTURE DETAIL
PB	PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS	ELLIPTICAL PRIVACY SCREEN
R	RECYCLING BIN
RW	RENDERED WALL/ SELECTED PAINT FINISH
SK	SKY LIGHT
ST	STORAGE

AMENDMENTS NOTES:

1. REVISED APARTMENTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION
2. INCORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NORTHERN SITE BOUNDARY
3. RELOCATED SUBSTATION
4. RELOCATED HYDRANT BOOSTERS
5. PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY)
6. FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION
7. RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
8. WIDEN BUILDING ENTRY /THRESHOLD
9. REVISED COMMUNAL OPEN SPACE AREA
10. INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
11. ADDED PLANTER BOX IN FRONT OF UNIT 101

C	04.04.2018	REVISED DA
B	11.12.2017	UNIT AREAS REVISED
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



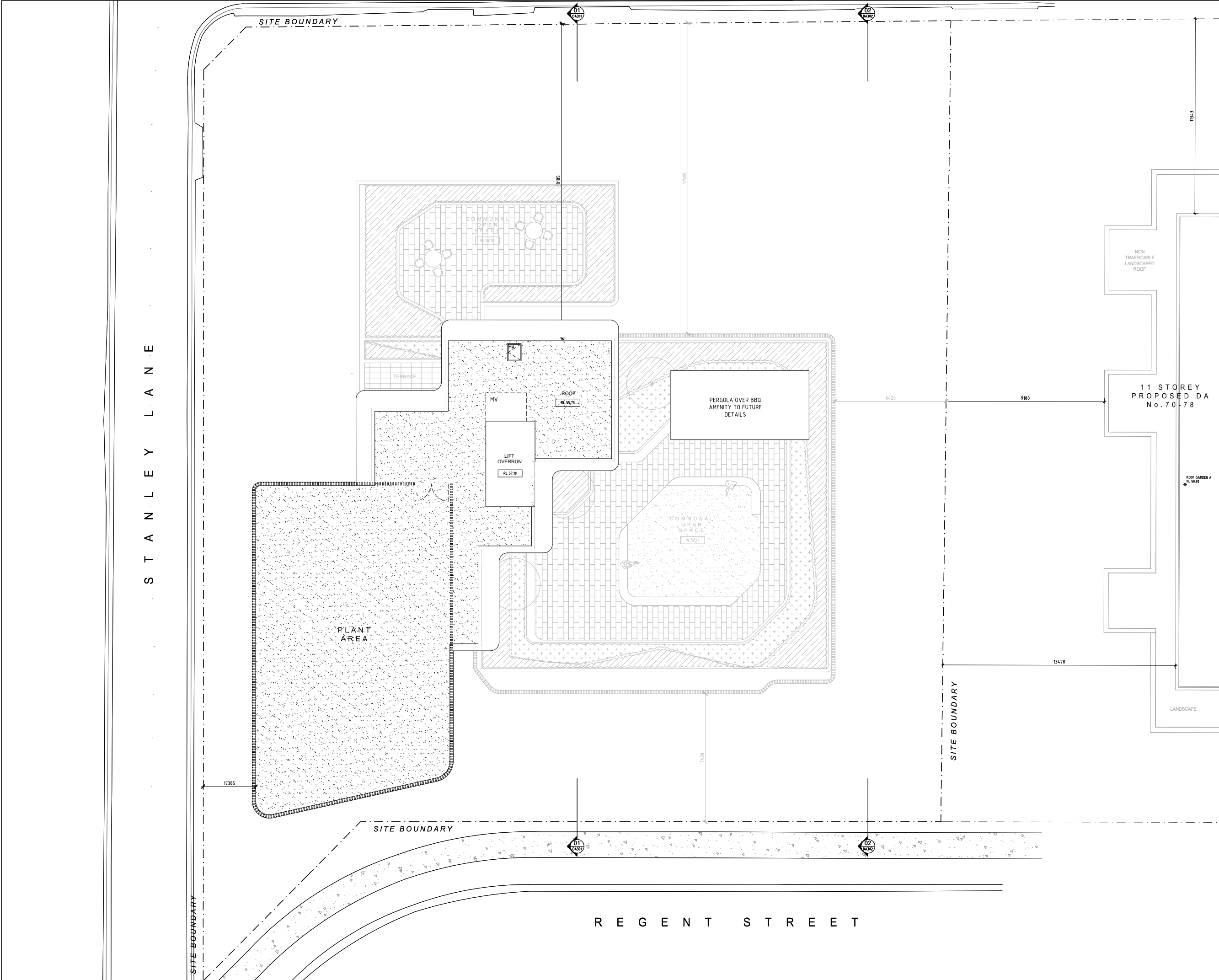
CLIENT:  
QUANTUM GROUP

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PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
LEVEL 12 PLAN

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: DA113
PROJECT NO: 1728	



**GENERAL NOTES:**

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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**LEGEND:**

AW	AWNING
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
GD	GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
HL	HIGHLIGHT WINDOW
MA	ROOF HATCH ACCESS
MB	MAILBOX TO FUTURE DETAIL
MV	MECHANICAL RISER TO FUTURE DETAIL
PB	PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS	ELLIPTICAL PRIVACY SCREEN
R	RECYCLING BIN
RW	RENDERED WALL/ SELECTED PAINT FINISH
SK	SKY LIGHT
ST	STORAGE

**AMENDMENTS NOTES:**

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- INCORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NORTHERN SITE BOUNDARY
- RELOCATED SUBSTATION
- RELOCATED HYDRANT BOOSTERS
- PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY)
- FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION
- RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
- WIDEN BUILDING ENTRY /THRESHOLD
- REVISED COMMUNAL OPEN SPACE AREA
- INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
- ADDED PLANTER BOX IN FRONT OF UNIT 101

B	04.04.2018	REVISED DA
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

CLIENT:

QUANTUM GROUP

ARCHITECT:

**PBD | ARCHITECTS**

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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:

PROPOSED RESIDENTIAL DEVELOPMENT

58-68 REGENT STREET, KOGARAH

NOVEMBER 2017

DRAWING TITLE:

ROOF PLAN

SCALE:

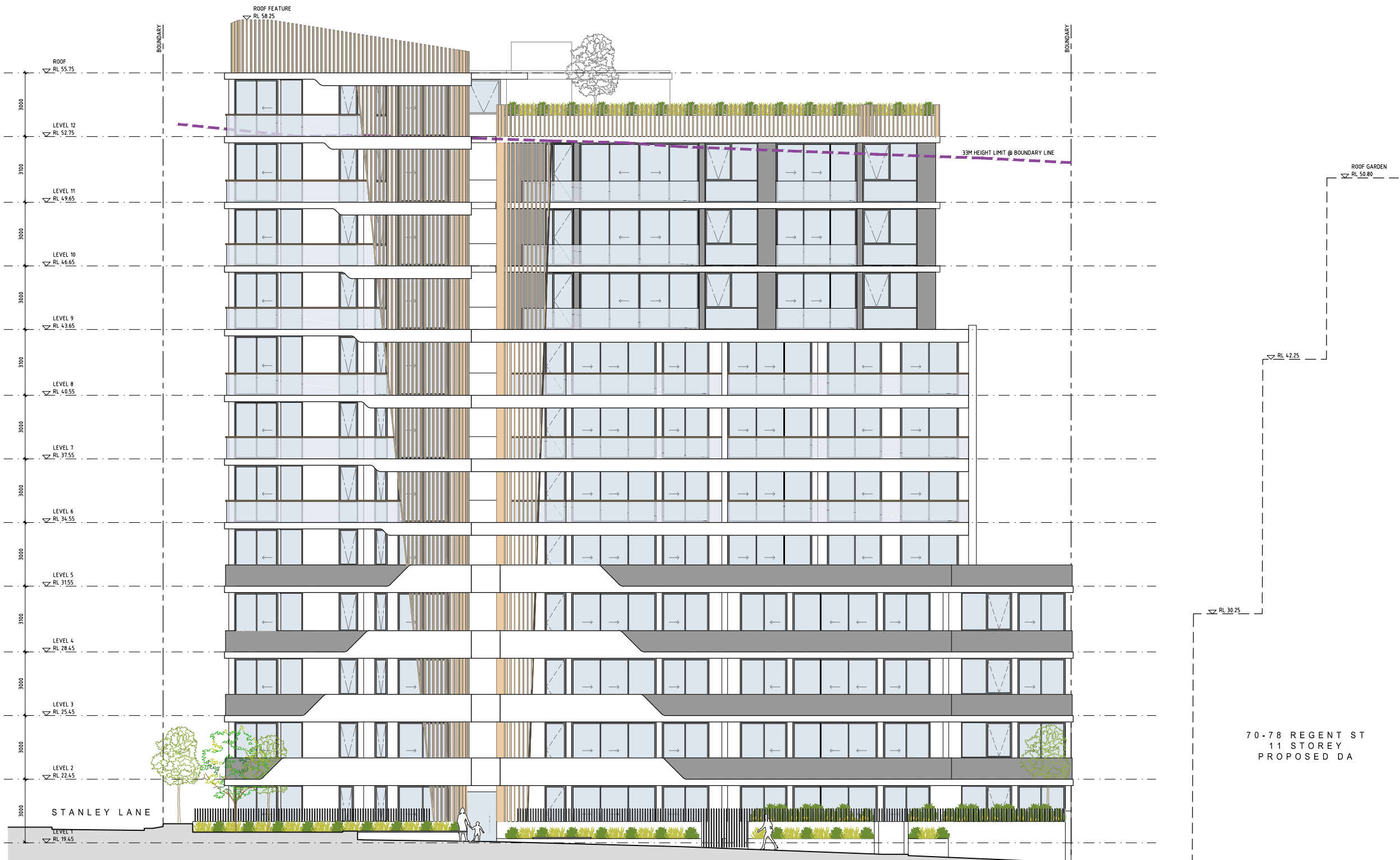
1:100 @ A1 / 1:200 @ A3

PROJECT NO:

1728

DRAWING NO:

DA114



- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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- LEGEND:
- AW AWNING
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - GC GARBAGE CHUTE
  - GD GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
  - HL HIGHLIGHT WINDOW
  - MA ROOF HATCH ACCESS
  - MB MAILBOX TO FUTURE DETAIL
  - MV MECHANICAL RISER TO FUTURE DETAIL
  - PB PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
  - PS ELLIPTICAL PRIVACY SCREEN
  - R RECYCLING BIN
  - RW RENDERED WALL/ SELECTED PAINT FINISH
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- AMENDMENTS NOTES:
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  - RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
  - WIDEN BUILDING ENTRY /THRESHOLD
  - REVISED COMMUNAL OPEN SPACE AREA
  - INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
  - ADDED PLANTER BOX IN FRONT OF UNIT 101

ISSUE	DATE	DESCRIPTION
C	04.04.2018	REVISED DA
B	09.11.2017	RL ADDED TO TOP OF ROOF FEATURE
A	26.09.2017	ISSUE FOR DA

CLIENT:  
QUANTUM GROUP

ARCHITECT:  
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
SOUTH ELEVATION  
REGENT STREET

SCALE:  
1:100 @ A1 / 1:200 @ A3  
PROJECT NO:  
1728  
DRAWING NO:  
DA201



**GENERAL NOTES:**

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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**LEGEND:**

AW	AWNING
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
GD	GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
HL	HIGHLIGHT WINDOW
MA	ROOF HATCH ACCESS
MB	MAILBOX TO FUTURE DETAIL
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PB	PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS	ELLIPTICAL PRIVACY SCREEN
R	RECYCLING BIN
RW	RENDERED WALL/ SELECTED PAINT FINISH
SK	SKY LIGHT
ST	STORAGE

**AMENDMENTS NOTES:**

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- FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION
- RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
- WIDEN BUILDING ENTRY /THRESHOLD
- REVISED COMMUNAL OPEN SPACE AREA
- INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
- ADDED PLANTER BOX IN FRONT OF UNIT 101

D	04.04.2018	REVISED DA
C	21.11.2017	BASEMENT 3 ADDED
B	09.11.2017	RL ADDED TO TOP OF ROOF FEATURE
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

CLIENT:

**QUANTUM GROUP**

ARCHITECT:

**PBD | ARCHITECTS**

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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:

**PROPOSED RESIDENTIAL DEVELOPMENT**

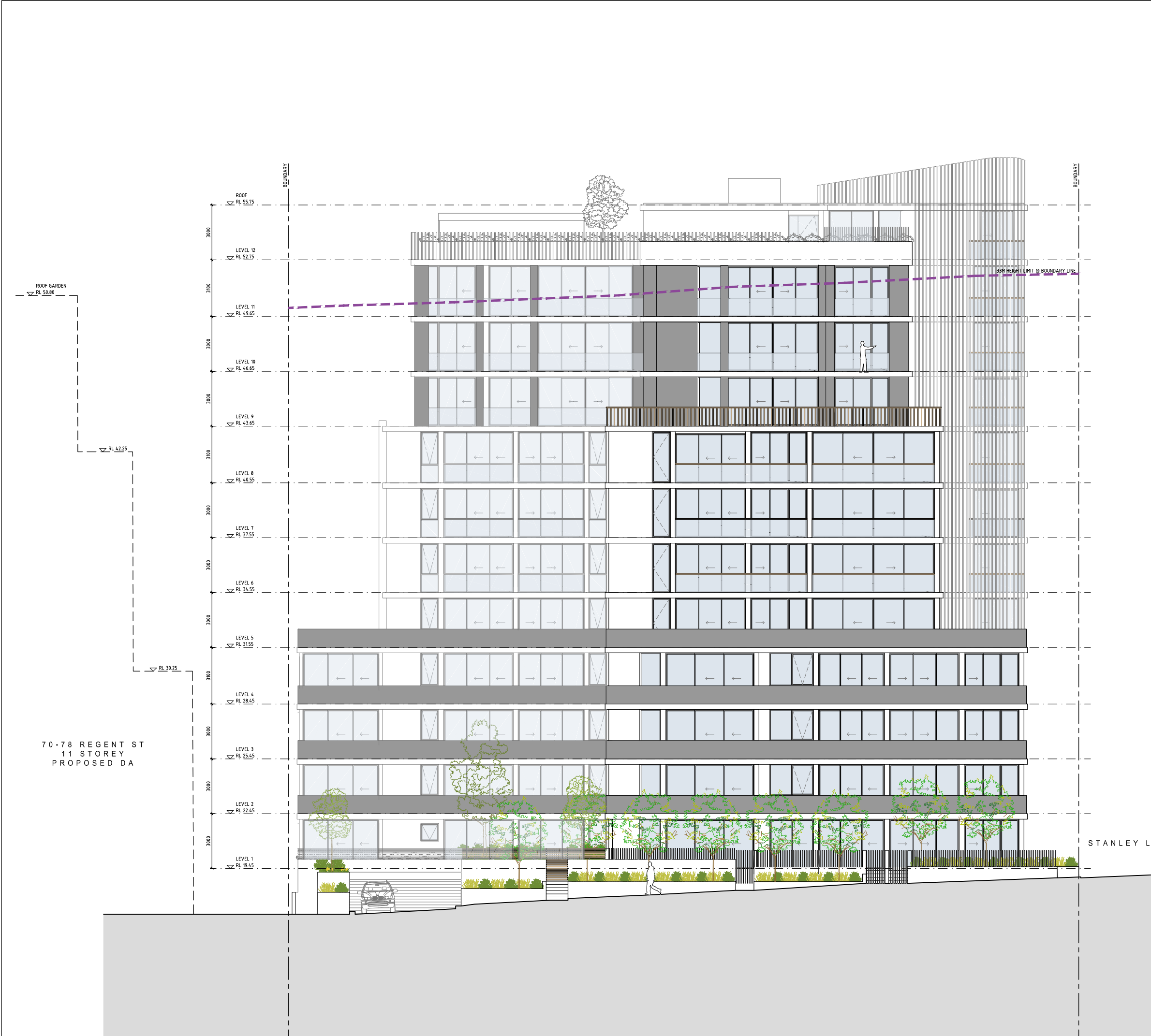
**58-68 REGENT STREET, KOGARAH**

NOVEMBER 2017

DRAWING TITLE:

**WEST ELEVATION**

SCALE:	DRAWING NO:
1:100 @ A1 / 1:200 @ A3	<b>DA202</b>
PROJECT NO:	
1728	



- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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- LEGEND:
- |     |   |
|-----|---|
| AW  | AWNING  |
| FH  | FIRE HYDRANT  |
| FHR | FIRE HOSE REEL                                      |
| FS  | FIRE STAIRS   |
| GC  | GARBAGE CHUTE                                       |
| GD  | GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS         |
| HL  | HIGHLIGHT WINDOW                                    |
| HA  | ROOF HATCH ACCESS                                   |
| MB  | MAILBOX TO FUTURE DETAIL                            |
| MV  | MECHANICAL RISER TO FUTURE DETAIL                   |
| PB  | PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL |
| PS  | ELLIPTICAL PRIVACY SCREEN                           |
| R   | RECYCLING BIN                                       |
| RW  | RENDERED WALL/ SELECTED PAINT FINISH                |
| SK  | SKY LIGHT   |
| ST  | STORAGE   |

- AMENDMENTS NOTES:
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  - RELOCATED HYDRANT BOOSTERS
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  - FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION
  - RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
  - WIDEN BUILDING ENTRY /THRESHOLD
  - REVISED COMMUNAL OPEN SPACE AREA
  - INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
  - ADDED PLANTER BOX IN FRONT OF UNIT 101

B	04.04.2018	REVISED DA
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

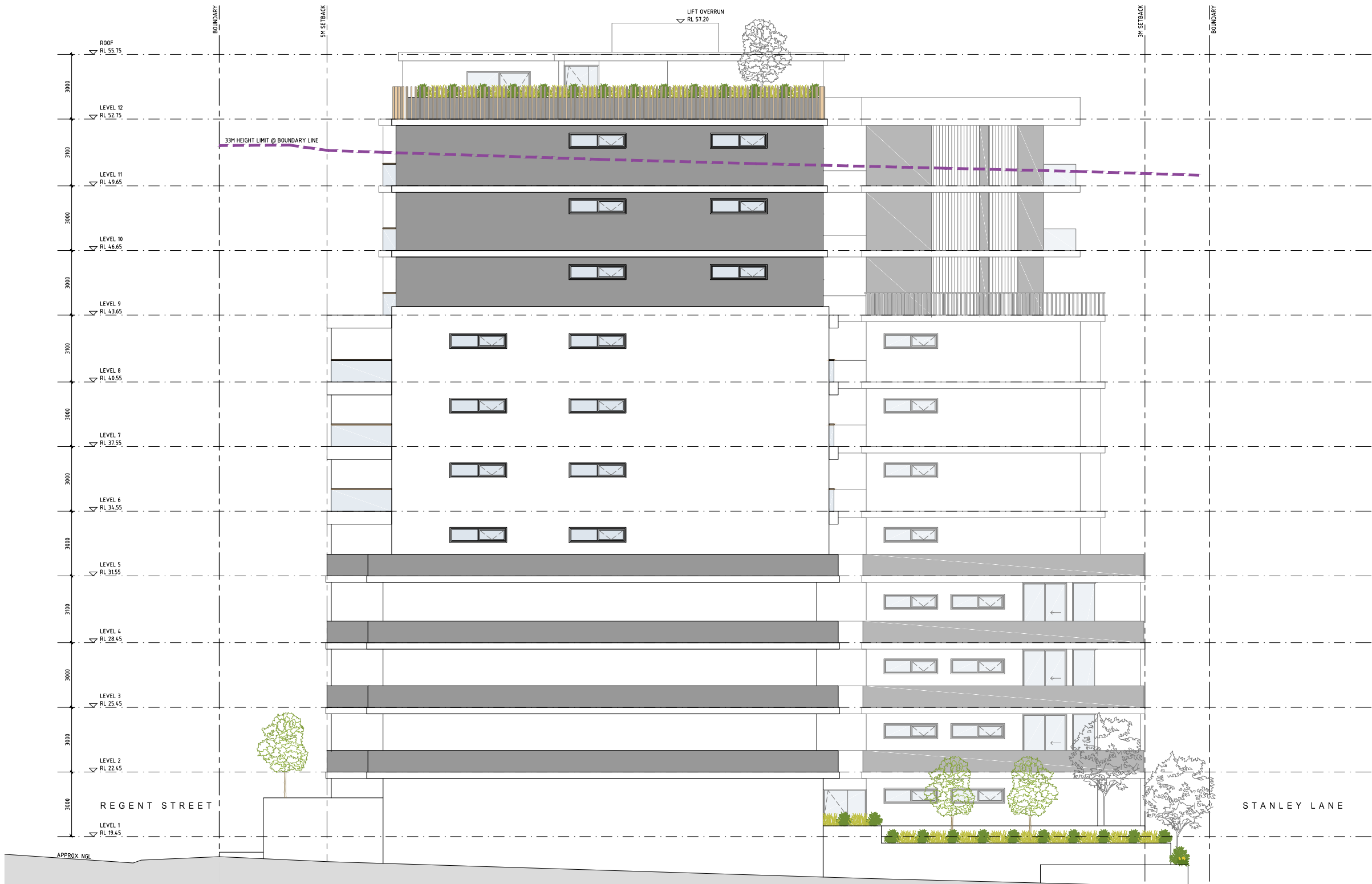
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ARCHITECT:  
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
NORTH ELEVATION

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: DA203
PROJECT NO: 1728	



- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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- LEGEND:
- |     |   |
|-----|---|
| AW  | AWNING  |
| FH  | FIRE HYDRANT  |
| FHR | FIRE HOSE REEL                                      |
| FS  | FIRE STAIRS   |
| GC  | GARBAGE CHUTE                                       |
| GD  | GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS         |
| HL  | HIGHLIGHT WINDOW                                    |
| MA  | ROOF HATCH ACCESS                                   |
| MB  | MAILBOX TO FUTURE DETAIL                            |
| MV  | MECHANICAL RISER TO FUTURE DETAIL                   |
| PB  | PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL |
| PS  | ELLIPTICAL PRIVACY SCREEN                           |
| R   | RECYCLING BIN                                       |
| RW  | RENDERED WALL/ SELECTED PAINT FINISH                |
| SK  | SKY LIGHT   |
| ST  | STORAGE   |

- AMENDMENTS NOTES:
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  - RELOCATED HYDRANT BOOSTERS
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  - RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
  - WIDEN BUILDING ENTRY /THRESHOLD
  - REVISED COMMUNAL OPEN SPACE AREA
  - INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
  - ADDED PLANTER BOX IN FRONT OF UNIT 101

B	04.04.2018	REVISED DA
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

CLIENT:  
QUANTUM GROUP

ARCHITECT:  
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
EAST ELEVATION

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: DA204
PROJECT NO: 1728	



GENERAL NOTES:

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LEGEND:

AW	AWNING
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
GD	GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
HL	HIGHLIGHT WINDOW
MA	ROOF HATCH ACCESS
MB	MAILBOX TO FUTURE DETAIL
MV	MECHANICAL RISER TO FUTURE DETAIL
PB	PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS	ELLIPTICAL PRIVACY SCREEN
R	RECYCLING BIN
RW	RENDERED WALL/ SELECTED PAINT FINISH
SK	SKY LIGHT
ST	STORAGE

AMENDMENTS NOTES:

- REVISED APARTMENTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION
- INCORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NORTHERN SITE BOUNDARY
- RELOCATED SUBSTATION
- RELOCATED HYDRANT BOOSTERS
- PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY)
- FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION
- RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
- WIDEN BUILDING ENTRY /THRESHOLD
- REVISED COMMUNAL OPEN SPACE AREA
- INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
- ADDED PLANTER BOX IN FRONT OF UNIT 101

C	04.04.2018	REVISED DA
B	21.11.2017	BASEMENT 3 ADDED
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

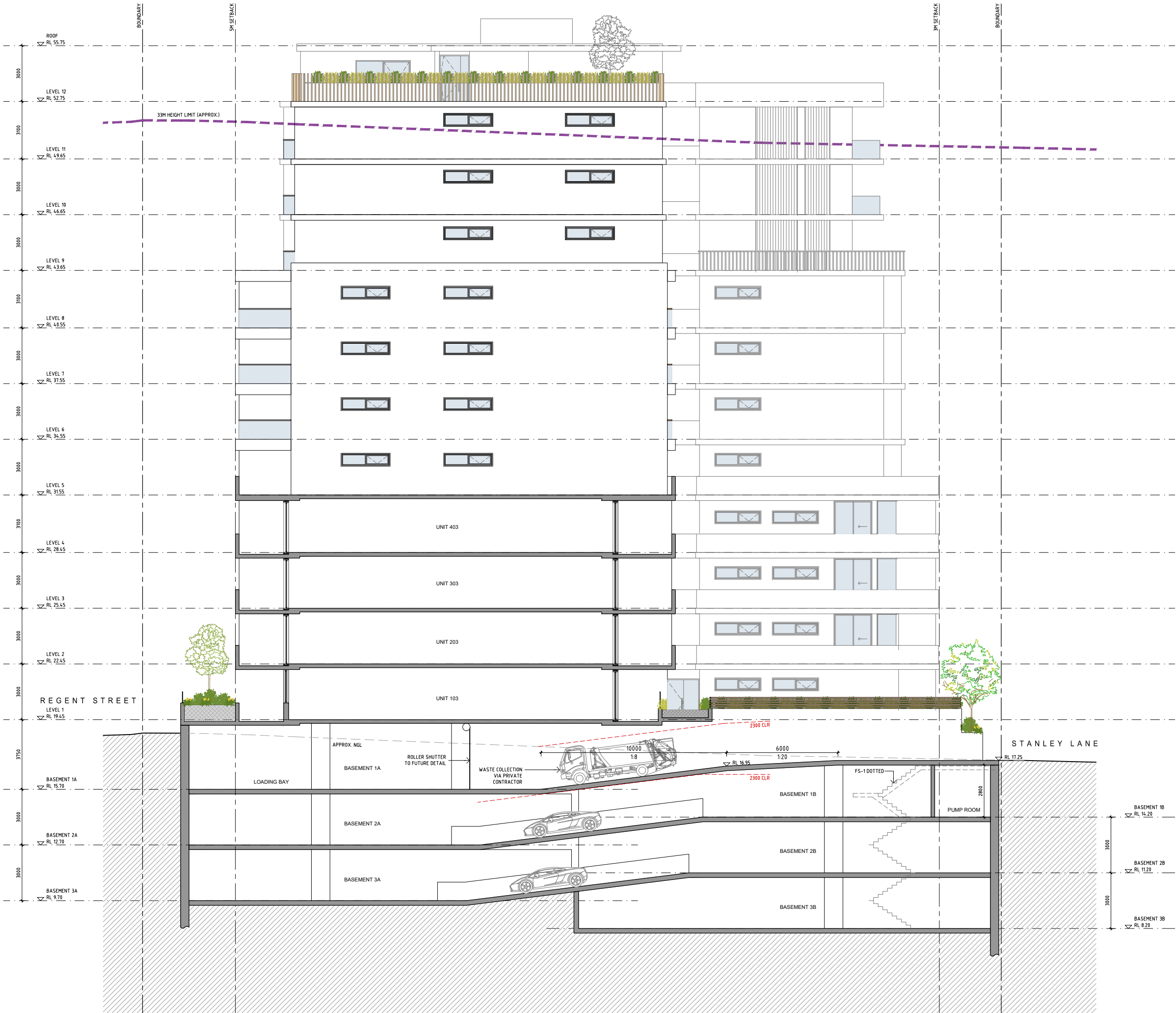
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
**SECTION 01**

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: <b>DA301</b>
PROJECT NO: 1728	



GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

AW	AWNING
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
GD	GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
HL	HIGHLIGHT WINDOW
HA	ROOF HATCH ACCESS
MB	MAILBOX TO FUTURE DETAIL
MV	MECHANICAL RISER TO FUTURE DETAIL
PB	PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
PS	ELLIPTICAL PRIVACY SCREEN
R	RECYCLING BIN
RW	RENDERED WALL/ SELECTED PAINT FINISH
SK	SKY LIGHT
ST	STORAGE

AMENDMENTS NOTES:

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- WIDEN BUILDING ENTRY /THRESHOLD
- REVISED COMMUNAL OPEN SPACE AREA
- INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
- ADDED PLANTER BOX IN FRONT OF UNIT 101

C	04.04.2018	REVISED DA
B	21.11.2017	BASEMENT 3 ADDED
A	26.09.2017	ISSUE FOR DA
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PROJECT:  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
**SECTION 02**  
**DRIVEWAY SECTION**

SCALE: 1:100 @ A1 / 1:200 @ A3	DRAWING NO: <b>DA302</b>
PROJECT NO: 1728	

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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- LEGEND:
- |     |   |
|-----|---|
| AW  | AWNING  |
| FH  | FIRE HYDRANT  |
| FHR | FIRE HOSE REEL                                      |
| FS  | FIRE STAIRS   |
| GC  | GARBAGE CHUTE                                       |
| GD  | GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS         |
| HL  | HIGHLIGHT WINDOW                                    |
| HA  | ROOF HATCH ACCESS                                   |
| MB  | MAILBOX TO FUTURE DETAIL                            |
| MV  | MECHANICAL RISER TO FUTURE DETAIL                   |
| PB  | PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL |
| PS  | ELLIPTICAL PRIVACY SCREEN                           |
| R   | RECYCLING BIN                                       |
| RW  | RENDERED WALL/ SELECTED PAINT FINISH                |
| SK  | SKY LIGHT   |
| ST  | STORAGE   |

- AMENDMENTS NOTES:
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PROJECT:  
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**58-68 REGENT STREET, KOGARAH**

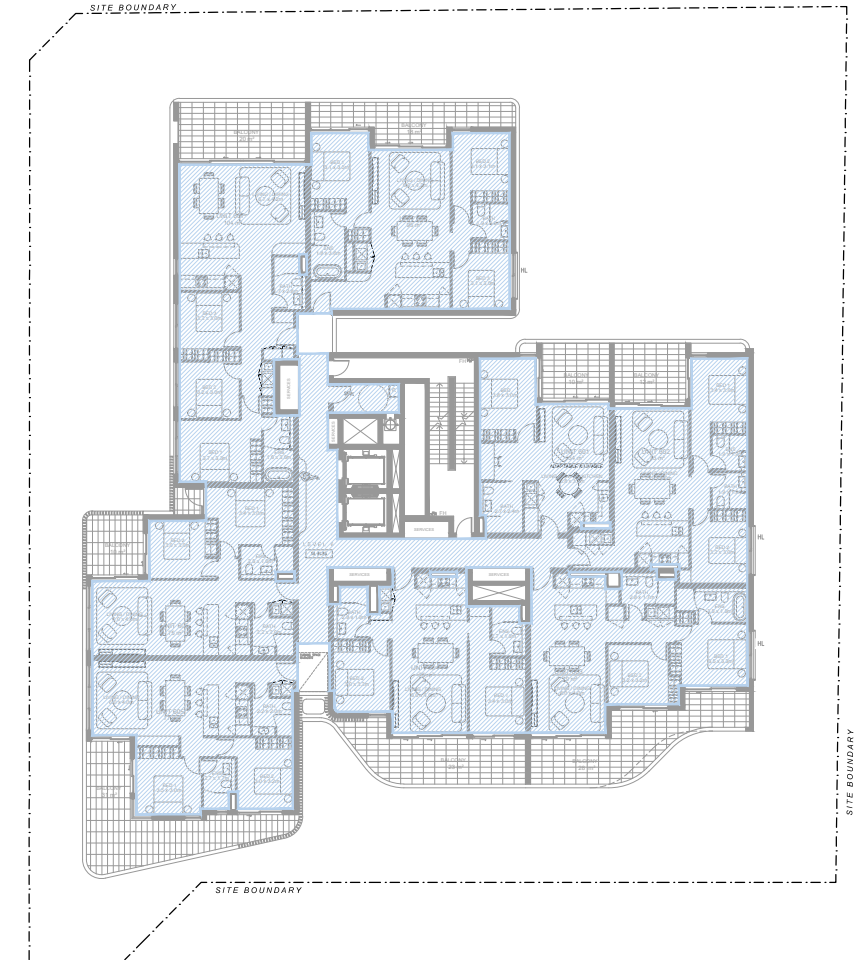
NOVEMBER 2017

DRAWING TITLE:  
**GFA DIAGRAM**  
**SHEET 1 OF 2**

SCALE: 1:200 @ A1 / 1:400 @ A3	DRAWING NO: <b>DA501</b>
PROJECT NO: 1728	



1 LEVEL 1 (GROUND FLOOR)  
SCALE 1:200 @ A1



3 LEVEL 5-8  
SCALE 1:200 @ A1



2 LEVEL 2-4  
SCALE 1:200 @ A1

1

AREA SUMMARY

SITE AREA	= 2016 m <sup>2</sup>
GFA AT 4:1 FSR	= 8064 m <sup>2</sup>
PROPOSED GFA	= 8061 m <sup>2</sup>
PROPOSED FSR	= 4:1

LEVEL 1	= 868 m <sup>2</sup>
LEVEL 2-4	= 2562 m <sup>2</sup>
LEVEL 5-8	= 2768 m <sup>2</sup>
LEVEL 9-11	= 1668 m <sup>2</sup>
LEVEL 12	= 195 m <sup>2</sup>

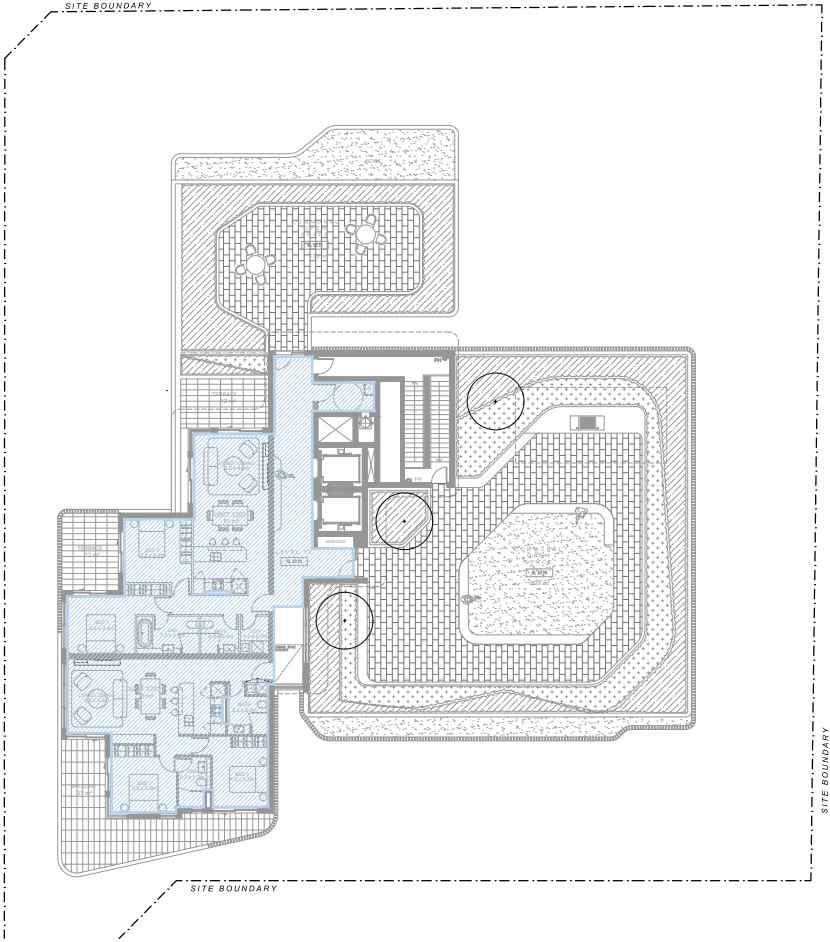
LEGEND

 GFA AREA

1 LEVEL 9-11  
SCALE 1:200 @ A1



2 LEVEL 12  
SCALE 1:200 @ A1



1

AREA SUMMARY

SITE AREA	= 2016 m <sup>2</sup>
GFA AT 4:1 FSR	= 8064 m <sup>2</sup>
PROPOSED GFA	= 8061 m <sup>2</sup>
PROPOSED FSR	= 4:1

LEVEL 1	= 868 m <sup>2</sup>
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LEVEL 9-11	= 1668 m <sup>2</sup>
LEVEL 12	= 195 m <sup>2</sup>

LEGEND

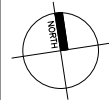
 GFA AREA

- GENERAL NOTES:
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- |     |   |
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| HA  | ROOF HATCH ACCESS                                   |
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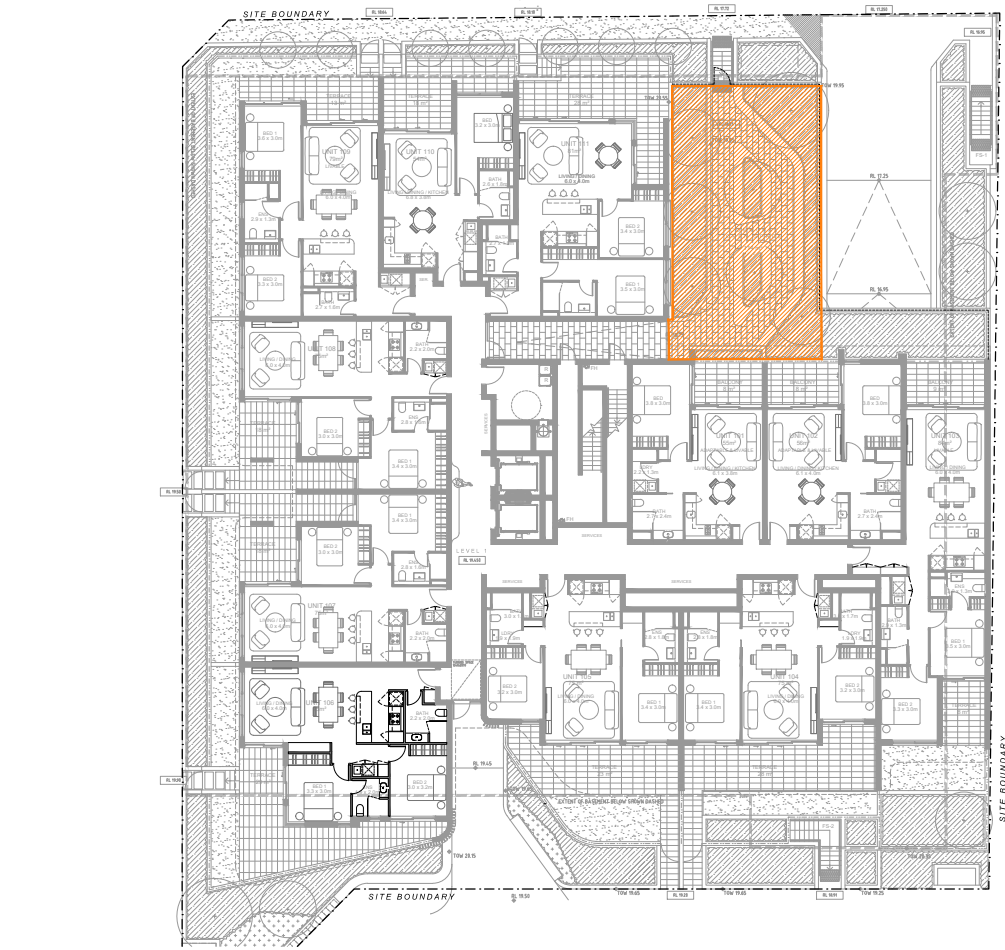
PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH

NOVEMBER 2017

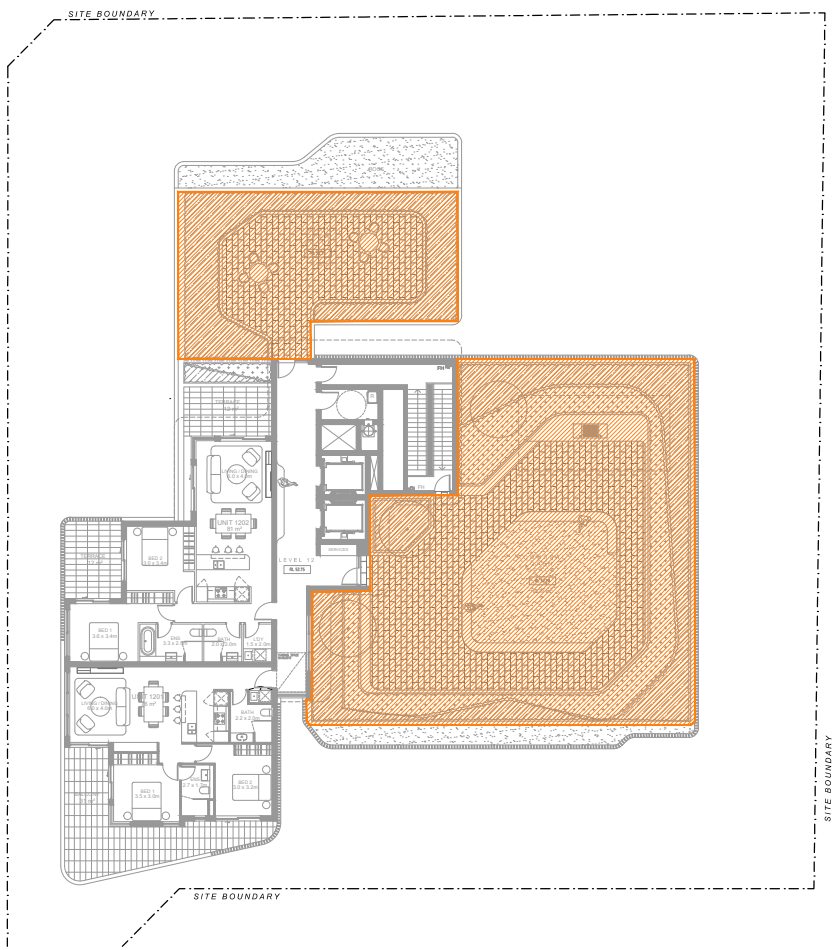
DRAWING TITLE:  
GFA DIAGRAM  
SHEET 2 OF 2

SCALE:  
1:200 @ A1 / 1:400 @ A3  
PROJECT NO:  
1728

DRAWING NO:  
DA502



1 LEVEL 1 (GROUND FLOOR)  
SCALE 1:200 @ A1



2 LEVEL 12  
SCALE 1:200 @ A1

#### COMMUNAL OPEN SPACE AREA SUMMARY

SITE AREA	= 2016 m <sup>2</sup>
MINIMUM REQUIRED	= 25% (ADG)
	= 504 m <sup>2</sup>
PROPOSED	= 550 m <sup>2</sup>
	= 27%

#### LEGEND

 COMMUNAL OPEN SPACE AREA

- GENERAL NOTES:
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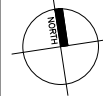
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58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
**COMMUNAL OPEN SPACE DIAGRAM**

SCALE: 1:200 @ A1 / 1:400 @ A3	DRAWING NO: <b>DA520</b>
PROJECT NO: 1728	



1 SOLAR EYE VIEW - 9AM



2 SOLAR EYE VIEW - 10AM



3 SOLAR EYE VIEW - 11AM

58-68 REGENT STREET, KOGARAH								
SOLAR COMPLIANCE CHECK								
HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L1								
101	✓	✓	✓	✓				3
102	✓	✓	✓	✓	✓			4
103	✓	✓	✓	✓	✓	✓		5
104								0
105								0
106				✓	✓	✓	✓	3
107				✓	✓	✓	✓	3
108				✓	✓	✓	✓	3
109	✓	✓	✓	✓	✓	✓	✓	6
110	✓	✓	✓	✓	✓	✓	✓	6
111	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L2								
201	✓	✓	✓	✓	✓			3
202	✓	✓	✓	✓	✓			4
203	✓	✓	✓	✓	✓	✓		5
204								0
205								0
206				✓	✓	✓	✓	3
207				✓	✓	✓	✓	3
208				✓	✓	✓	✓	3
209	✓	✓	✓	✓	✓	✓	✓	6
210	✓	✓	✓	✓	✓	✓	✓	6
211	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L3								
301	✓	✓	✓	✓				3
302	✓	✓	✓	✓	✓			4
303	✓	✓	✓	✓	✓	✓		5
304								0
305								0
306				✓	✓	✓	✓	3
307				✓	✓	✓	✓	3
308				✓	✓	✓	✓	3
309	✓	✓	✓	✓	✓	✓	✓	6
310	✓	✓	✓	✓	✓	✓	✓	6
311	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L4								
401	✓	✓	✓	✓				3
402	✓	✓	✓	✓	✓			4
403	✓	✓	✓	✓	✓	✓		5
404								0
405								0
406				✓	✓	✓	✓	3
407				✓	✓	✓	✓	5
408				✓	✓	✓	✓	3
409	✓	✓	✓	✓	✓	✓	✓	6
410	✓	✓	✓	✓	✓	✓	✓	6
411	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L5								
501	✓	✓	✓	✓				3
502	✓	✓	✓	✓				4
503								0
504								0
505				✓	✓	✓	✓	3
506				✓	✓	✓	✓	4
507	✓	✓	✓	✓	✓	✓	✓	6
508	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L6								
601	✓	✓	✓	✓				3
602	✓	✓	✓	✓	✓			4
603								0
604								0
605				✓	✓	✓	✓	3
606				✓	✓	✓	✓	4
607	✓	✓	✓	✓	✓	✓	✓	6
608	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L7								
701	✓	✓	✓	✓				3
702	✓	✓	✓	✓	✓			4
703								0
704								0
705					✓	✓	✓	3
706				✓	✓	✓	✓	4
707	✓	✓	✓	✓	✓	✓	✓	6
708	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L8								
801	✓	✓	✓	✓				4
802	✓	✓	✓	✓	✓			4
803								0
804								0
805				✓	✓	✓	✓	3
806				✓	✓	✓	✓	4
807	✓	✓	✓	✓	✓	✓	✓	6
808	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L9								
901	✓	✓	✓	✓				3
902								0
903								0
904				✓	✓	✓	✓	3
905				✓	✓	✓	✓	4
906	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L10								
1001		✓		✓				3
1002								0
1003								0
1004				✓	✓	✓	✓	3
1005	✓	✓	✓	✓	✓	✓	✓	6
1006	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L11								
1101	✓	✓	✓	✓	✓			4
1102								0
1103								0
1104					✓	✓	✓	3
1105	✓	✓	✓	✓	✓	✓	✓	6
1106	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L12								
1201					✓	✓	✓	3
1202	✓	✓	✓	✓	✓	✓	✓	6

✓	Solar Access (to living rooms and private open space)	UNITS RECEIVING SUNLIGHT FOR 2+ HOURS NO. OF UNITS IN TOTAL	74 96
□	No Solar Access (to living rooms and private open space)		77%
■	Units receive sunlight for 2+ hours at mid winter		
■	Units receive sunlight for less than 2 hours at mid winter		

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
  - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK- SHOULD A DISCREPANCY BE IDENTIFIED PLEASE CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE FROM DRAWINGS)
  - DRAWINGS FOR THE PURPOSES OF DA ONLY- FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
  - COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION

- LEGEND:
- AW AWNING
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - GC GARBAGE CHUTE
  - GD GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
  - HL HIGHLIGHT WINDOW
  - HA ROOF HATCH ACCESS
  - MB MAILBOX TO FUTURE DETAIL
  - MV MECHANICAL RISER TO FUTURE DETAIL
  - PB PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
  - PS ELLIPTICAL PRIVACY SCREEN
  - R RECYCLING BIN
  - RW RENDERED WALL/ SELECTED PAINT FINISH
  - SK SKY LIGHT
  - ST STORAGE

- AMENDMENTS NOTES:
- REVISED APARTMENTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION
  - INCORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NORTHERN SITE BOUNDARY.
  - RELOCATED SUBSTATION.
  - RELOCATED HYDRANT BOOSTERS
  - PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY).
  - FURTHER SETBACK THE BALCONY LINE WITH CURVED TRANSITION
  - RAISED THE GROUND FLOOR LEVEL WITH REVISED FLOOR TO FLOOR LEVELS
  - WIDEN BUILDING ENTRY/THRESHOLD
  - REVISED COMMUNAL OPEN SPACE AREA
  - INCREASED AREA SIZE OF THE GARBAGE HOLDING ROOM IN BASEMENT
  - ADDED PLANTER BOX IN FRONT OF UNIT 101

B	04.04.2018	REVISED DA
A	26.09.2017	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

CLIENT:  
QUANTUM GROUP

ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
**SOLAR EYE VIEW**  
**JUNE 9AM - 11AM**

SCALE: N.T.S.	DRAWING NO:
PROJECT NO: 1728	<b>DA601</b>



1 SOLAR EYE VIEW - 12PM



2 SOLAR EYE VIEW - 1PM



3 SOLAR EYE VIEW - 1:30PM

58-68 REGENT STREET, KOGARAH								
SOLAR COMPLIANCE CHECK								
HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L1								
101	✓	✓	✓	✓				3
102	✓	✓	✓	✓	✓			4
103	✓	✓	✓	✓	✓	✓		5
104								0
105								0
106				✓	✓	✓	✓	3
107				✓	✓	✓	✓	3
108				✓	✓	✓	✓	3
109	✓	✓	✓	✓	✓	✓	✓	6
110	✓	✓	✓	✓	✓	✓	✓	6
111	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L2								
201	✓	✓	✓	✓				3
202	✓	✓	✓	✓	✓			4
203	✓	✓	✓	✓	✓	✓		5
204								0
205								0
206				✓	✓	✓	✓	3
207				✓	✓	✓	✓	3
208				✓	✓	✓	✓	3
209	✓	✓	✓	✓	✓	✓	✓	6
210	✓	✓	✓	✓	✓	✓	✓	6
211	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L3								
301	✓	✓	✓	✓				3
302	✓	✓	✓	✓	✓			4
303	✓	✓	✓	✓	✓	✓		5
304								0
305								0
306				✓	✓	✓	✓	3
307				✓	✓	✓	✓	3
308				✓	✓	✓	✓	3
309	✓	✓	✓	✓	✓	✓	✓	6
310	✓	✓	✓	✓	✓	✓	✓	6
311	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L4								
401	✓	✓	✓	✓				3
402	✓	✓	✓	✓	✓			4
403	✓	✓	✓	✓	✓	✓		5
404								0
405								0
406				✓	✓	✓	✓	3
407				✓	✓	✓	✓	5
408				✓	✓	✓	✓	3
409	✓	✓	✓	✓	✓	✓	✓	6
410	✓	✓	✓	✓	✓	✓	✓	6
411	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L5								
501	✓	✓	✓	✓				3
502	✓	✓	✓	✓				4
503								0
504								0
505				✓	✓	✓	✓	3
506				✓	✓	✓	✓	4
507	✓	✓	✓	✓	✓	✓	✓	6
508	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L6								
601	✓	✓	✓	✓				3
602	✓	✓	✓	✓	✓			4
603								0
604								0
605				✓	✓	✓	✓	3
606				✓	✓	✓	✓	4
607	✓	✓	✓	✓	✓	✓	✓	6
608	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L7								
701	✓	✓	✓	✓				3
702	✓	✓	✓	✓	✓			4
703								0
704								0
705					✓	✓	✓	3
706				✓	✓	✓	✓	4
707	✓	✓	✓	✓	✓	✓	✓	6
708	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L8								
801	✓	✓	✓	✓				4
802	✓	✓	✓	✓	✓			4
803								0
804								0
805				✓	✓	✓	✓	3
806				✓	✓	✓	✓	4
807	✓	✓	✓	✓	✓	✓	✓	6
808	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L9								
901	✓	✓	✓	✓				3
902								0
903								0
904				✓	✓	✓	✓	3
905				✓	✓	✓	✓	4
906	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L10								
1001	✓	✓	✓	✓				3
1002								0
1003								0
1004				✓	✓	✓	✓	3
1005	✓	✓	✓	✓	✓	✓	✓	6
1006	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L11								
1101	✓	✓	✓	✓	✓			4
1102								0
1103								0
1104				✓	✓	✓	✓	3
1105	✓	✓	✓	✓	✓	✓	✓	6
1106	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L12								
1201				✓	✓	✓	✓	3
1202	✓	✓	✓	✓	✓	✓	✓	6

✓	Solar Access (to living rooms and private open space)	UNITS RECEIVING SUNLIGHT FOR 2+ HOURS NO. OF UNITS IN TOTAL	74
□	No Solar Access (to living rooms and private open space)		77%
■	Units receive sunlight for 2+ hours at mid winter		
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- GENERAL NOTES:
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  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - GC GARBAGE CHUTE
  - GD GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
  - HL HIGHLIGHT WINDOW
  - HA ROOF HATCH ACCESS
  - MB MAILBOX TO FUTURE DETAIL
  - MV MECHANICAL RISER TO FUTURE DETAIL
  - PB PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
  - PS ELLIPTICAL PRIVACY SCREEN
  - R RECYCLING BIN
  - RW RENDERED WALL/ SELECTED PAINT FINISH
  - SK SKY LIGHT
  - ST STORAGE

- AMENDMENTS NOTES:
- REVISED APARTMENTS LAYOUT, AREAS AND BALCONIES TO ACHIEVE SOLAR COMPLIANCE AND GFA REDUCTION
  - INCORPORATED 12M LANDSCAPED ZONE FOR THE STREET FOOTPATH WITHIN NORTHERN SITE BOUNDARY.
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  - RELOCATED HYDRANT BOOSTERS
  - PROVIDED ADDITIONAL BUILDING SETBACK FOR UPPER LEVELS, LEVEL 5 ONWARDS ALONG STANLEY LANE (WESTERN BOUNDARY).
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  - ADDED PLANTER BOX IN FRONT OF UNIT 101

B	04.04.2018	REVISED DA
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CLIENT:  
QUANTUM GROUP

ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
SOLAR EYE VIEW  
JUNE 12PM - 1:30PM

SCALE: N.T.S.	DRAWING NO: DA602
PROJECT NO: 1728	

1 SOLAR EYE VIEW - 2PM



2 SOLAR EYE VIEW - 3PM



58-68 REGENT STREET, KOGARAH								
SOLAR COMPLIANCE CHECK								
HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L1								
101	✓	✓	✓	✓				3
102	✓	✓	✓	✓	✓			4
103	✓	✓	✓	✓	✓	✓		5
104								0
105								0
106				✓	✓	✓	✓	3
107				✓	✓	✓	✓	3
108				✓	✓	✓	✓	3
109	✓	✓	✓	✓	✓	✓	✓	6
110	✓	✓	✓	✓	✓	✓	✓	6
111	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L2								
201	✓	✓	✓	✓	✓			3
202	✓	✓	✓	✓	✓			4
203	✓	✓	✓	✓	✓	✓		5
204								0
205								0
206				✓	✓	✓	✓	3
207				✓	✓	✓	✓	3
208				✓	✓	✓	✓	3
209	✓	✓	✓	✓	✓	✓	✓	6
210	✓	✓	✓	✓	✓	✓	✓	6
211	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L3								
301	✓	✓	✓	✓				3
302	✓	✓	✓	✓	✓			4
303	✓	✓	✓	✓	✓	✓		5
304								0
305								0
306				✓	✓	✓	✓	3
307				✓	✓	✓	✓	3
308				✓	✓	✓	✓	3
309	✓	✓	✓	✓	✓	✓	✓	6
310	✓	✓	✓	✓	✓	✓	✓	6
311	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L4								
401	✓	✓	✓	✓				3
402	✓	✓	✓	✓	✓			4
403	✓	✓		✓	✓	✓		5
404								0
405								0
406				✓	✓	✓	✓	3
407			✓	✓	✓	✓	✓	5
408			✓	✓	✓	✓	✓	3
409	✓	✓	✓	✓	✓	✓	✓	6
410	✓	✓	✓	✓	✓	✓	✓	6
411	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L5								
501	✓	✓	✓	✓				3
502	✓	✓	✓	✓				4
503								0
504								0
505				✓	✓	✓	✓	3
506			✓	✓	✓	✓	✓	4
507	✓	✓	✓	✓	✓	✓	✓	6
508	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L6								
601	✓	✓	✓	✓				3
602	✓	✓	✓	✓	✓			4
603								0
604								0
605				✓	✓	✓	✓	3
606			✓	✓	✓	✓	✓	4
607	✓	✓	✓	✓	✓	✓	✓	6
608	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L7								
701	✓	✓	✓	✓				3
702	✓	✓	✓	✓	✓			4
703								0
704								0
705					✓	✓	✓	3
706			✓	✓	✓	✓	✓	4
707	✓	✓	✓	✓	✓	✓	✓	6
708	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L8								
801	✓	✓	✓	✓				4
802	✓	✓	✓	✓	✓			4
803								0
804								0
805				✓	✓	✓	✓	3
806			✓	✓	✓	✓	✓	4
807	✓	✓	✓	✓	✓	✓	✓	6
808	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L9								
901	✓	✓	✓	✓				3
902								0
903								0
904				✓	✓	✓	✓	3
905			✓	✓	✓	✓	✓	4
906	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L10								
1001	✓	✓	✓	✓				3
1002								0
1003								0
1004				✓	✓	✓	✓	3
1005	✓	✓	✓	✓	✓	✓	✓	6
1006	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L11								
1101	✓	✓	✓	✓	✓			4
1102								0
1103								0
1104				✓	✓	✓	✓	3
1105	✓	✓	✓	✓	✓	✓	✓	6
1106	✓	✓	✓	✓	✓	✓	✓	6

HRS	900	1000	1100	1200	1300	1400	1500	TOTAL
L12								
1201				✓	✓	✓	✓	3
1202	✓	✓	✓	✓	✓	✓	✓	6

✓	Solar Access (to living rooms and private open space)	UNITS RECEIVING SUNLIGHT FOR 2+ HOURS	74
	No Solar Access (to living rooms and private open space)	NO. OF UNITS IN TOTAL	96
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  - GD GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
  - HL HIGHLIGHT WINDOW
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  - PB PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
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  - SK SKY LIGHT
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B	04.04.2018	REVISED DA
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ISSUE	DATE	DESCRIPTION

CLIENT:  
QUANTUM GROUP

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ABN 36 147 035 550  
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PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT  
58-68 REGENT STREET, KOGARAH  
NOVEMBER 2017

DRAWING TITLE:  
SOLAR EYE VIEW  
JUNE 2PM - 3:30PM

SCALE: N.T.S.	DRAWING NO: DA603
PROJECT NO: 1728	